

HISTORICAL DEVELOPMENT BOARD

Wednesday, April 21, 2021 4:00 pm

Regular Meeting

Helen Kleberg Groves Community Room, 1st Floor of City Hall
400 W King, Kingsville, Texas

Conference Line Call: 415-655-0001 and when prompted type access code:

1262109951#

OR

Live Videostream: <https://cityofkingsville.my.webex.com>

Access Code: 1262109951

BOARD MEMBERS

Maggie Salinas, Chairman

Jonathan Plant

Daniel J. Burt

Tamara Brennan

Lupita Salazar Weeks

Jeri L.S Morey

Dr. Maria de Jesús Ayala-Schueneman

CITY STAFF

Brenda Joyas, CNU-A

Downtown Manager/

Historic Preservation Officer

Stephannie Resendez

Administrative Assistant II

The following rules of conduct pertaining to public comments have been adopted by this Board:

1. Give your name and complete address.
2. No one may speak more than twice on the same item.
3. No one may speak more than five minutes at a time without permission from the Chairman.
4. No one may speak a second time on a question until every person who wants to speak has done so
5. All submissions of evidence, i.e. photos, drawings, will be retained by the Historical Development Board and will become a part of the permanent file.

When speaking at the podium, if necessary, adjust the microphone and clearly speak into the microphone.

- ***CALL TO ORDER***
- ***ROLL CALL***

- **APPROVAL OF MINUTES FROM PREVIOUS MEETING(s)- February 24, 2021**
- ****AUDIENCE AND PRESENTER SOCIAL DISTANCING AND PUBLIC TESTIMONY AND PUBIC HEARING INPUT AT PUBLIC MEETINGS OF THE CITY BOARDS. To reduce the chance of COVID-19 transmission, public meetings will be held in a manner intended to separate, to the maximum practical extent, audience and presenters from personal contact with members of Community, City Staff, and City Boards. Public testimony and public hearing input for Public Comment and all items on the agenda at public meetings of the City Boards shall be provided in written format and presented to the Board Secretary and/or designee prior to the start of each meeting of the Historical Development Board. This testimony and/or public input shall be in accordance with the Board Secretary's instructions, which shall be posted on the Board Secretary's outdoor public bulletin board at City Hall and on the City website and allow for electronic submission. The written public testimony shall be provided to members of the City Boards prior to voting on measures for that meeting. Written testimony shall be limited in accordance with the Board Secretary requirements and shall be placed into the record of each meeting. This written testimony shall serve as the required public testimony pursuant to Texas Government Code section 551.007 and shall constitute a public hearing for purposes of any public hearing requirement under law. The meeting may be held telephonically or via videoconference; and, if so conducted, the public may participate remotely by following the instructions of the Board Secretary which would be posted on the Board Secretary's outdoor public bulletin at City Hall and on the City website.**
- **PUBLIC COMMENTS FOR ALL AGENDA & NON-AGENDA ITEMS (SEE MEETING RULES)**
- **POSTPONEMENTS/ADJUSTMENTS TO THE AGENDA**
- **AGENDA ITEMS**

Item #1 Discuss and Consider Action to install a metal fence from Yoakum Avenue to Lee Avenue, west of the Pavilion on 6th Street.

Item #2 Discuss and Consider Action on adding canopies and paint to the shopping center at 6th, Block 17, Lot 17-24 also known as 618-634 E, King Avenue, add an outside seating area to the east side of building.

Item #3 Discuss and Consider Action on addition and remodel of Henrietta Hgts, Block 2, Lot W/2, 22, 23, 24 also known as 614 W. Richard Avenue

Item #4 Discuss and Consider Action on home remodel on Orig Town, Block 31, Lot 14-16, (Apts) also known as 315 N. 3rd Street.

Item #5 Discuss and Consider Action on a remodel with new paint and windows for a residential home Orig Town, Block 70, Lot 7, 8 also known as 415 E. Kenedy.

Item #6 Discuss and Consider Action on resurfacing and painting exterior building and canopies on commercial structure, Orig Town, Block 55, lots 13, 14 also known as 425 E. King Avenue.

Item #7 Discuss and Consider Action on a final rendering on remodel of Orig Town, Block 41, lots 1-29, also known as 418 E. Kleberg Avenue.

Item #8 Discuss and Consider nomination for Leroy David Thibodeaux.

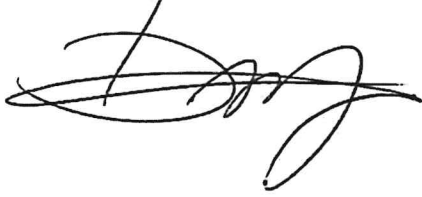
Item #9 Discuss and Consider nomination for Lucia G. Perez.

- ***STAFF REPORT:*** - Lupita Perez resigned March 12, 2021
- ***MISCELLANEOUS*** – *Any topic may be discussed but no action taken at this time.*
- ***ADJOURNMENT***

PUBLIC NOTICE

It is the intention of the City of Kingsville to comply in all aspects with the Americans with Disabilities Act (ADA). If you plan on attending a meeting to participate or observe and need special assistance beyond what is routinely provided, the city will attempt to accommodate you in every reasonable manner. Please contact the City Secretary at 361-595-8003 at least two business days prior to the meeting to inform the City of your specific needs and to determine if accommodation is feasible.

I certify that this agenda was posted at least seventy-two (72) hours before the commencement of the Historical Development Board Meeting scheduled for Wednesday, April 21, 2021.



Brenda Joyas
Downtown Manager /Historic Preservation Officer

Posted
@ <u>5:30pm</u>
On <u>4-15-2021</u>
By <u>S. Resendez</u>

**HISTORICAL DEVELOPMENT BOARD
SPECIAL MEETING
February 24 @ 4:00 PM
CITY OF KINGSVILLE
HELEN KLEBERG GROVES COMMUNITY ROOM
400 W KING AVE**

Minutes

Attendance:

Historical Board Members Present:

Maggie Salinas
Jonathan Plant
Daniel Burt
Tamara Brennan
Dr. Ayala-Schuenenan

Staff:

Brenda Joyas, Historic Preservation Officer
Stephannie Resendez, Administrative Assistant II

Historical Board Members Not Present:

Lupita Perez
Lupita Salazar-Weeks
Jeri Morey

1. **Call meeting to order:** Meeting was called to order at 4:15 PM
2. **Discuss and approve minutes from previous meeting** – Tamara Brennan made a motion to approve the minutes of the December 16, 2020 meeting as presented. Daniel Burt seconded. All in favor; none opposed. Motion Carried.
Daniel Burt made a motion to approve the minutes with changes of the January 20,2021 meeting. Jonathan Plant seconded. All in favor; none opposed. Motion Carried.
3. **Public comments on items on or off the agenda:** - None.
4. **Postponements/Adjustments to the Agenda:** None.
5. **Discuss and Consider Action on a request to demolish a garage at 6th, BLOCK 9, LOT 3,4 also known as 605 Henrietta Avenue. The applicant is the owner, Martha C. Alegria. The contractor is to be determined.**

Brenda Joyas told the board that the garage at 605 Henrietta is dilapidated as shown in the pictures provided in the packet. The garage is detached from the home. The garage is tilting at an angle and the roof also tilts down toward the middle. Ms. Joyas told the board that it is the staff's recommendation to approve demolition.

Jonathan Plant asked if the City Engineer evaluated the property. Ms. Joyas replied that the City Engineer doesn't do that, the Building Official. The Building Official did not go out to the property but looked at the pictures and agreed that it should be approved for demolition. The applicant, Ms. Alegria told the board that she would be going through the city to demolition the structure.

Jonathan Plant made a motion to approve the request to demolish a garage at 6th, BLOCK 9, LOT 3, 4 also known as 605 Henrietta Avenue. Tamara Brennan seconded. All in favor; none opposed. Motion Carried.

6. Discuss and Consider Action on a request to remodel the outside of the residence at 6th, BLOCK 9, LOT 3, 4 also known as 605 Henrietta Avenue. The applicant is the owner, Martha C. Alegria. The contractor is Estevan Elizondo.

Ms. Joyas told the board that the structure has some disrepair but still has a solid frame to work with. Ms. Joyas added that she walked the inside and outside of the home with the owner. The floors are in great condition as is the frame of the home. With new siding, paint and windows, the house can continue its historic presence much longer. Ms. Joyas added that the applicant is asking for approval on fixtures as everything is. There will be no changes to the design. Ms. Salinas asked if the current siding will be replaced with the same siding, Ms. Joyas replied yes.

Jonathan Plant made a motion to approve the request to remodel the outside of the residence at 6th, BLOCK 9, LOT 3, 4 also known as 605 Henrietta Avenue under Standard 9 of the Secretary of Interior Standards of Rehabilitation. Daniel Burt seconded. All in favor; none opposed. Motion Carried.

7. Discuss and Consider Action on a request to add a room addition to the residence at 6th, BLOCK 9, LOTS 3, 4 also known as 605 Henrietta Ave. The applicant is the owner, Martha C. Alegria. The contractor is Estevan Elizondo.

Ms. Joyas told the board that the addition will extend a room that is towards the back on the East side of the home. If the house is being viewed from the front property, the street, they will not see any addition because it aligns with the width of the house on the front. It's also not viewable from the side. Ms. Joyas stated that as far as historical, it won't take away from the design of the home because it will still look the same from the front.

Mr. Plant asked what would happen to the roof line, Ms. Joyas replied that it will just extend from the front of the house. Mr. Plant asked if they were going to lose windows? Ms. Joyas replied that the window facing the rear of the property will be lost because that will become an open space. The wall will no longer be there but when it's extended out, there will be a window to the right.

Jonathan Plant made a motion to approve the request to add a room addition to the residence at 6th, BLOCK 9, LOTS 3, 4 also known as 605 Henrietta Ave under Standard #10 of the Secretary of Interior Standards of Rehabilitation. Daniel Burt seconded. All in favor; none opposed. Motion Carried.

8. Discuss and Consider Action on a request to remodel the outside residence at ORIG TOWN, BLOCK 72, LOTS 11, 12 also known as 521 East Lott. The applicant is Oscar Soliz, P.E representative of the owner NOVUS Property Group, LLC. The contractor is Oscar Soliz, P.E

Ms. Joyas told the board that the applicant will be remodeling the existing home and has provided pictures of things that will be changed on the home. Such as the siding, rotten wood, existing window trim, windows. The applicant also provided drawings to show more of the style of the trim and a list of materials that will be used. The singles are architectural dimensional shingles, primed fiber cement vented soffit, primed grooved fascia and fiber cement and primed pine lumber window trim.

Jonathan Plant made a motion to approve the request to remodel the outside residence at ORIG TOWN, BLOCK 72, LOTS 11, 12 also known as 521 East Lott under Standard #9 of the Secretary of Interior Standards of Rehabilitation. Daniel Burt seconded. All in favor; none opposed. Motion Carried.

9. Discuss and Consider Action on a request to remodel the residence at ORIG TOWN, BLOCK 22, LOT E/2, 11, 12 ACRES .0 also known as 323 East Alice Avenue. The applicant is the owner and contractor, Javier E. Canales.

Ms. Joyas told the board that the applicant will be replacing siding and windows. The applicant has provided a list of materials he will be using for the home. He will be using Millwork wood and the windows will be Larson Aluminum Low-E White. Mr. Plant asked Ms. Joyas what her recommendation was. Ms. Joyas replied that her recommendation is to approve so they can see an improvement to the home. Mr. Plant asked Ms. Joyas if she had looked over the materials and concluded they were fine, Ms. Joyas replied yes.

Tamara Brennan made a motion to approve the request to remodel the residence at ORIG TOWN, BLOC 22, LOT E/2, 11, 12 ACRES .0 also known as 323 East Alice Avenue under Standard #9 of the Secretary of Interior Standards of Rehabilitation.

10. Discuss and Consider Action on a request to remodel the residence at ORIG TOWN, BLOCK 60, LOT 9-11 also known as 313 West King Avenue. Applicant is Kendrick Lashawn Carter in behalf of property owner Randall E. Nielsen. The contractor is Alazan Builders, LP.

Ms. Joyas told the board that the applicant will be replacing double, single doors, windows, some siding that needs assistance. He will be repainting some of the wood the same color as the siding that it is now. Replace broken windowpanes. Replacing the roof with the same pitch.

Mr. Plant asked Ms. Joyas what her thoughts were on the replacement siding? Ms. Joyas told the board that the current siding was not new, it was done sometime in the 90s. It's not the original part of the home but it is existing right now.

Tamara Brennan made a motion to approve the request to remodel the residence at ORIG TOWN, BLOCK 60, LOT 9-11 also known as 313 West King Avenue under Standard #9 of the Secretary of Interior Standards of Rehabilitation. Daniel Burt seconded. All in favor; none opposed. Motion Carried.

11. Discuss and Consider Action on a request to add a canopy to the commercial building at ORIG TOWN, BLOCK 41, LOT 30-32 (TOTES & THINGS), also known as 400 East Kleberg Avenue. Applicant is owner David Thibodeaux. The contractor is John Maupin of South Texas Canvas.

Jonathan Plant made a motion to approve the request to add a canopy to the commercial building at ORIG TOWN, BLOCK 41, LOT 30-32 (TOTES & THINGS) also known as 400 East Kleberg Avenue under Standard #10 of the Secretary of Interior Standards of Rehabilitation. Daniel Burt seconded. All in favor; none opposed. Motion Carried.

12. Discuss and Consider Action on a request to change the colors of the Train Depot located at JUAN MENDIOLA, LOT 192, (RINCON DE SANTA GERTRUDIS), (RR Depot), ACRES. 91 also known as 100 East Kleberg Avenue. The applicant and contractor is the City of Kingsville.

Ms. Joyas told the board that this was an item that is being revisited from the last meeting. Dr. Ayala-Schuenenan had mentioned she would try and go through the South Texas Archives to see if she could find any color postcard. She told Ms. Joyas that she couldn't find anything with the depot regarding colored postcards. Ms. Joyas added that at the Planning Department, they know have a History major helping as an intern. Ms. Joyas asked the intern to do some research on colors that dated back to the 1900s. The intern visited Sherwin-Williams, visited 3 or 4 major name brands, and spoke to them. Ms. Joyas spoke to two of them and they didn't have colors that went back that far. Ms. Joyas stated that the intern found Dunn-Edwards paints that show Spanish Colonial Revival Mission colors from the 1900s and that has almost identical matches to the colors at the L&M Railroad. The colors that Ms. Joyas wanted to change the depot to, the green, yellow and red.

Ms. Salinas stated that she showed a picture of the depot and that it shows the colors. Ms. Joyas replied that the colors in the photo were almost identical to the colors of the L&M Railroad but then after analyzing the picture. The building in the foreground was the Humble Gas Company

which was off 6th and Yoakum. The building that was in the picture was behind the Humble Gas so that wouldn't have been the depot.

Ms. Salinas and Mr. Plant asked if the colors shown in the packet are available in exterior paints, Ms. Joyas replied no, they are mainly interior paints. She added that those were the only colors that they found from that time period that had been used. MS. Joyas stated that mainly outdoor exterior was not often used, it was just whatever material you used. That's what the railroad did, they picked the brick, but they never painted. They kept the depot that color of the brick.

Mr. Plant commented that he felt there was sufficient evidence that the depot was painted in vibrant colors in the past. Mr. Plant continued and stated there wasn't any significant evidence showing that the natural stone was painting anything other than the natural stone. Ms. Joyas stated that they had never stated they had painted the depot in that past that color. The brick now is at a very fragile state, usually they would not recommend any sealant or any paint but there aren't any funds to be able to replace the brick within the next five years. The best thing to do to sustain it a bit longer so they can get funding would be to seal the bricks, choose a color from that time period to paint it. Mr. Plant stated that he didn't have a problem painting to preserve it but painting it a color that was not originally painted was not a good idea.

Ms. Salinas stated they had to take into consideration the building surrounding the depot that most of them had abided by the board's request those lighter colors, not vibrant. If they were to go that route, it would stick out that the board is not in compliance with the rest of the buildings surrounding the train depot. Mr. Plant suggested they paint the brick the same color with a sealant. Ms. Joyas asked if that was what Mr. Plant was suggested and Mr. Plant said yes.

Mr. Plant stated he suggest that the brick be painted with a paint containing a sealant, matching the building the way it is now. Something less garish and more historically accurate.

Ms. Joyas stated that right now, the brick at the bottom on the side of the depot is painted a tan color, the other half is the natural brick and then the windows are painted a brown color, the sill is a tan color. The ceiling under the canopy is a blueish-green or aqua color.

Ms. Salinas suggested that it should be all the same color.

Mr. Plant suggested that the train depot be colored a neutral earth color as it is now or as Ms. Salinas suggested, a canary yellow. Something in keeping with the character of the original brick as it is regarding the exposed beams, maybe a brick red kind of color, with the windows matching.

Ms. Joyas re-stated what the board members had discussed, the bottom half of the brick that's already painted tan to stay the same, to seal and paint the natural brick the same color as it is now and all the exposed beams, window frame, sills and underneath the roof will all be Prairie Clay.

Ms. Salinas asked Ms. Joyas if she could get them the color palette of the exterior paint of the ones that have been submitted.

Jonathan Plant made a motion to approve the change of colors on the Train Depot as suggested and the exposed beams, window frame, sills and underneath the roof to Prairie Clay at JUAN MENDIOLA, LOT 192, (RINCON DE SANTA GERTRUDIS), (RR DEPOT), ACRES .91 also known as 100 East Kleberg Under Standard #10 of Secretary of Interior Standards of Rehabilitation. Daniel Burt seconded. All in favor; none opposed. Motion Carried.

13. STAFF REPORT – NONE.

14. Miscellaneous – The board spoke about a homeless gentleman that resides downtown. Ms. Joyas told the board that she has spoken to the Police Chief who has spoken with Adult Protective Services and are pending information from their care worker.

15. Adjournment: Meeting adjourned at 5:21 PM

CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: April 21, 2021
TO: Historic Development Board
FROM: Brenda Joyas, CNU-A (Downtown Manager/HPO)
SUBJECT: Union Pacific Safety Fence
APPLICANT: City of Kingsville
CONTRACTOR: To be Determined

REQUEST

Discuss and Consider Action to install a metal fence from Yoakum Avenue to Lee Avenue, west of the Pavilion on 6th Street.

EXHIBITS

Map and Pictures

BACKGROUND & PERTINENT DATA

There has been safety concerns with the rail road track being so close to the pavilion. In the past there has been a plastic fence installed to help keep the tracks and people separated but due to it being plastic, it would wear and tear and would need to be replaced often. City Manager approached the Union Pacific Railroad (UP) about two (2) years ago to ask for a fence to be installed. Union Pacific has reached out and approved the City Manager's request. They (UP) will pay for fence and installation.

STAFF REVIEW & RECOMMENDATION

Due to events being held at the pavilion it is in the public's best interest to install a fence parallel to the railroad tracks to assist in keeping the tracks and people separated.

BOARD REVIEW

Scope of Historical Development Board

In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.
- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.
- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the

structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.

- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Brenda Joyas, CNU-A
Downtown Manager/HPO

Historical Development Board Review Application

Applicant: City of Kingsville

Address: 410 E. King Ave

Contact: Cell: 361-221-6754 Home: _____

Email: bjoyas@cityofkingsville.com

Property Owner: Union Pacific Railroad

Address: 1101 N. Tancabue St. CC tx 78401

Contact: Cell: 210-323-3540 Home: _____

Property Location and Description: Parallel to Pavilion and PFC

Daniel Alarcon St. between E. Yoakum Ave & W. Lee Ave.
Between rail Road and Pavilion

Description of Work: _____

Put up a metal (iron/aluminum) fence as safety
for pavilion use.

Contractor: N/A

Contact: Cell: _____ Home: _____

Email: _____

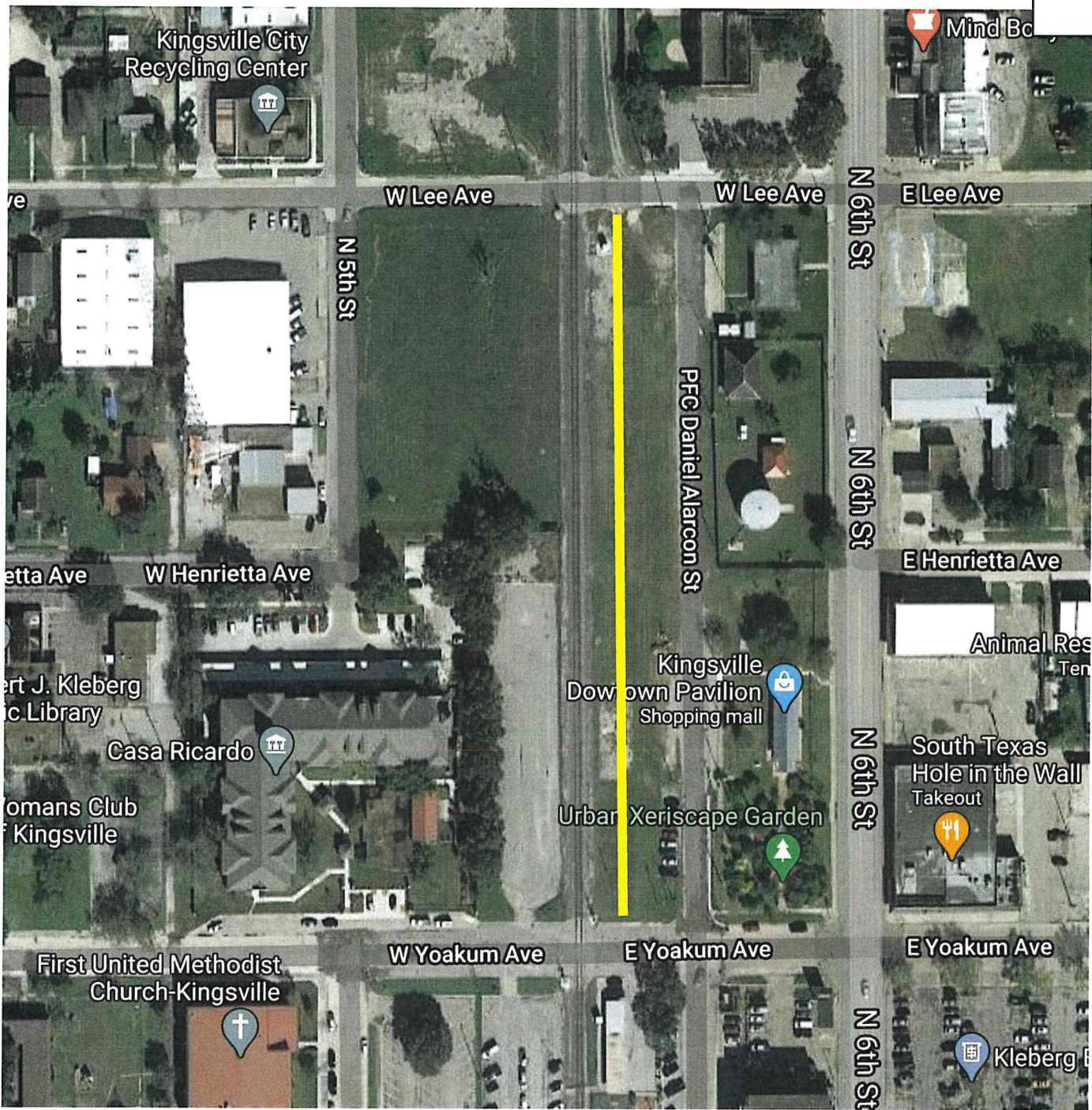
Documents Required:

1. Sketch, Drawing, Plans, Site Plans, Mock-ups
2. Photographs (Historic, Current, Surrounding Structures)
3. Materials List or Samples
4. Proof of Ownership
5. Letter of Representation and Work Approval from Property Owner (If Applicable)

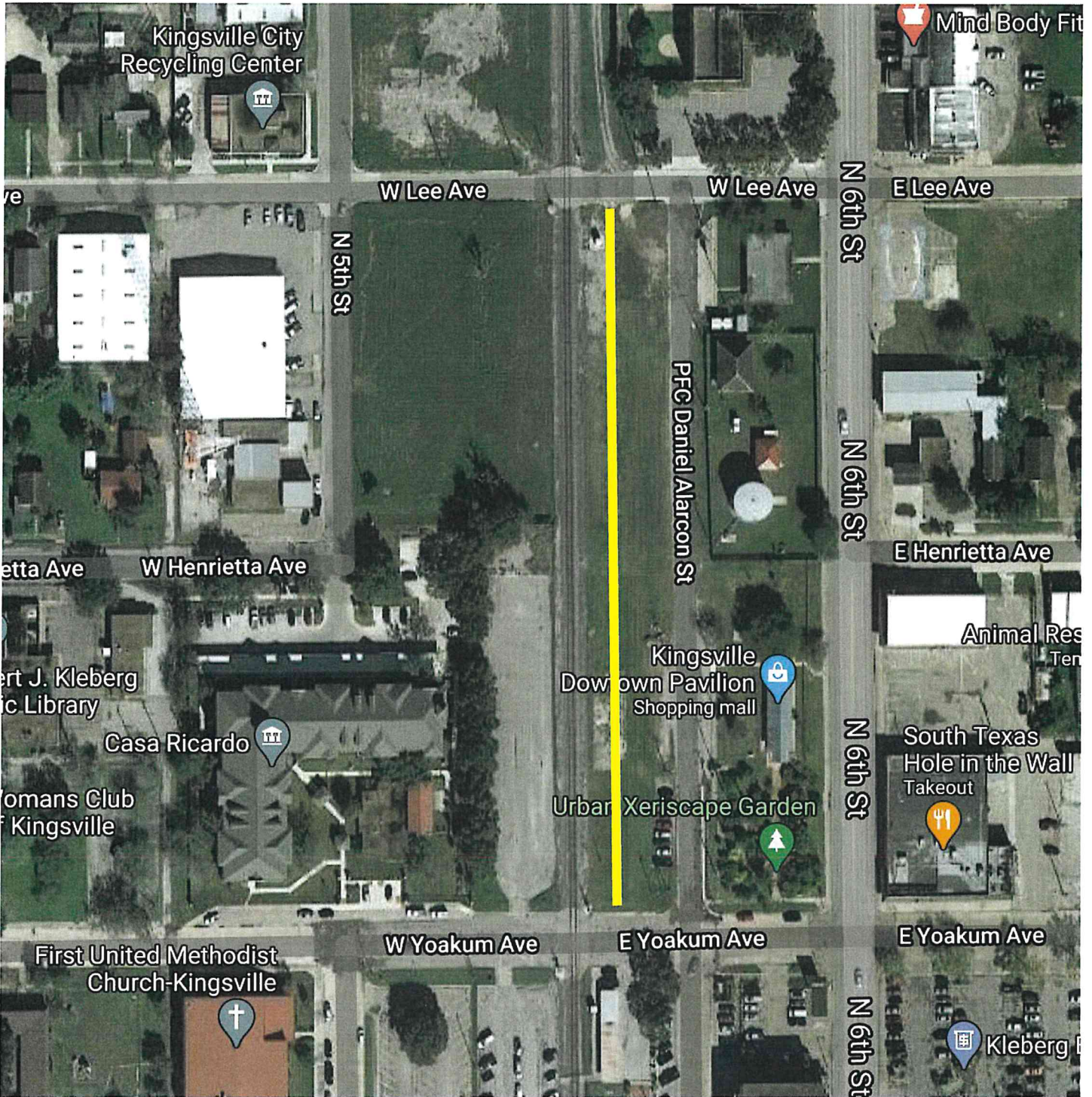
I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: Brenda Joyas

Signature:  Date: 3/9/2021



Metal fence to run the yellow line from Yoakum to Lee.

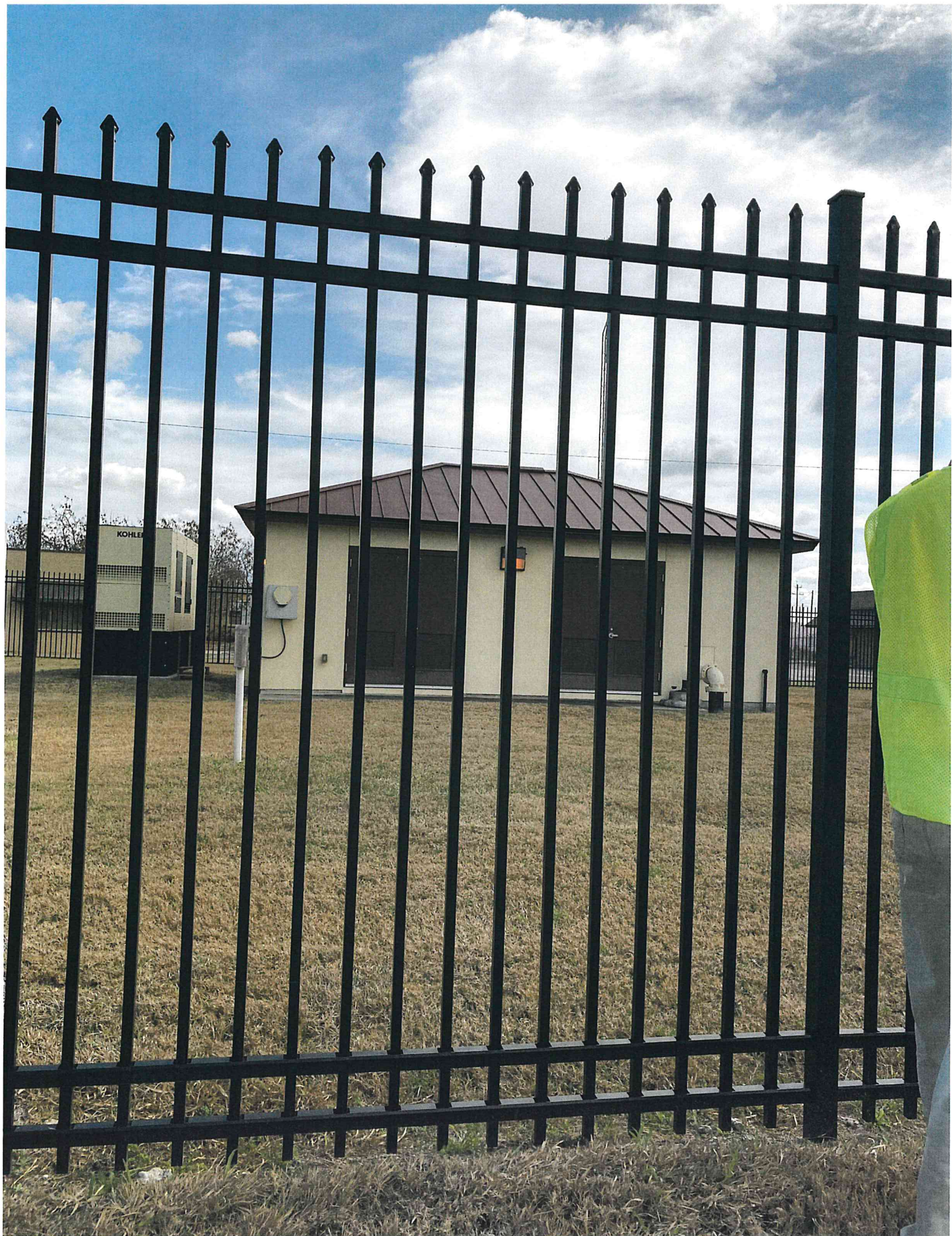


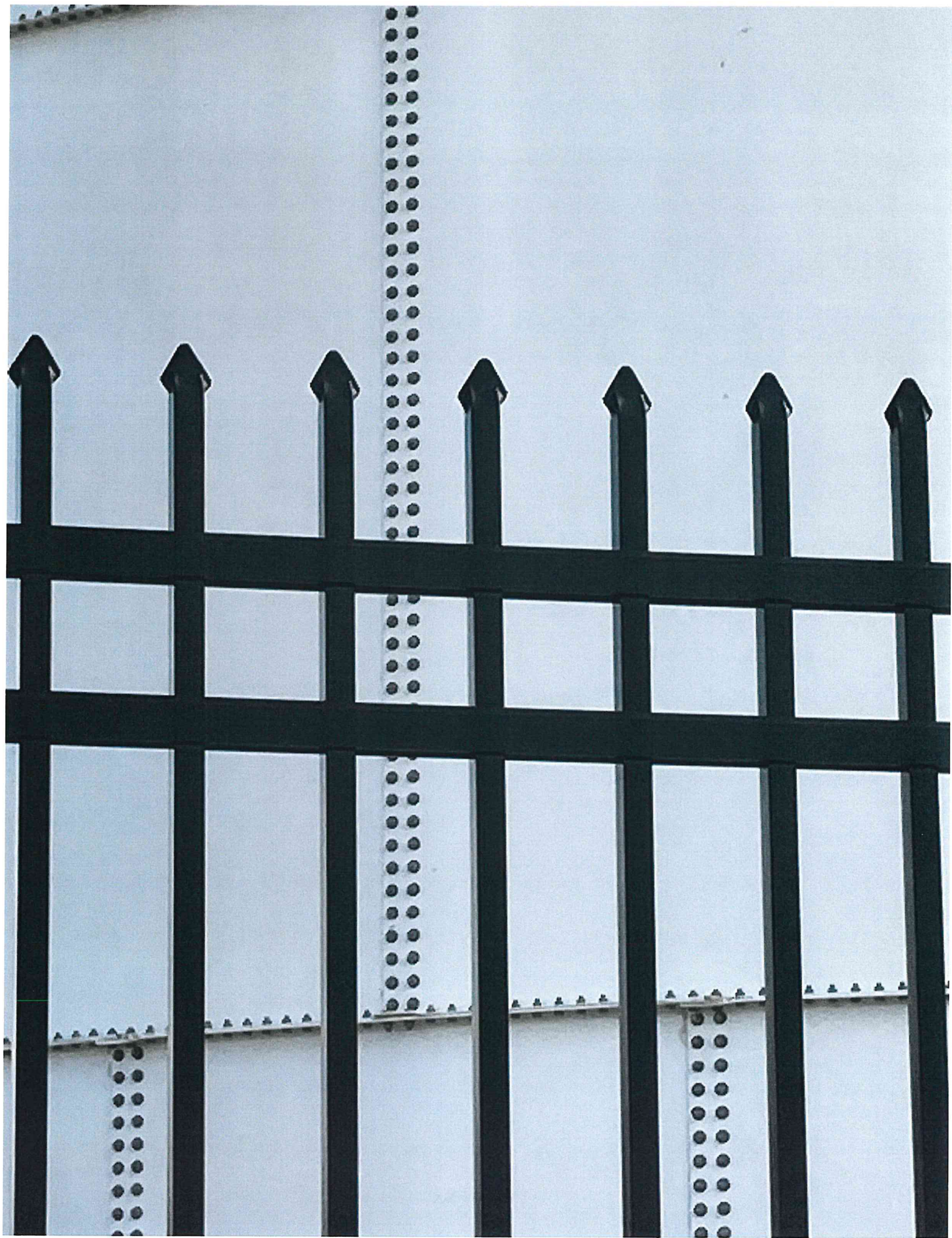
Metal fence to run the yellow line from Yoakum to Lee.











CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: April 21, 2021
TO: Historic Development Board
FROM: Brenda Joyas, CNU-A (Downtown Manager/HPO)
SUBJECT: 618-634 E. King Avenue
APPLICANT: ICC Gulf Coast Retail I LLC, Owner
CONTRACTOR: Precision Painting and South Texas Canvas

REQUEST

Discuss and Consider Action on adding canopies and paint to the shopping center at 6th, Block 17, Lot 17-24 also known as 618-634 E. King Avenue, add an outside seating area to the east side of building.

EXHIBITS

Historical Development Board Application, Sketch drawings, Plans, Site Plans, Mock-ups, Materials, Colors

BACKGROUND & PERTINENT DATA

ICC Gulf Coast Retail I LLC (ICC) has recently purchased the plaza at the corner of W. King Avenue and 11th Street. They would like to up-date the plaza by painting and adding canopies to the building as well as an outside eating area to the east side of the building surrounded by wrought iron fence.

STAFF REVIEW & RECOMMENDATION

ICC had provided a complete presentation and visual views of what the plaza looks like presently and how it would enhance the building with new paint and canopies. The colors for the building: Tinsel, Volcanic Ash, and Oatmeal match the existing buildings in the area giving it a cleaner look. The owners mention the final color of the canopies has not been decided but they have provided a vendor they will purchase the canopies from and mention the canopies would match the new colors picked for the building, swaying more to the blue choices. The additional outside eating area will be a cement slab surrounded with a wrought iron fence. Staff recommends approval.

BOARD REVIEW

Scope of Historical Development Board

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- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.
- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.

- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.
- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

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3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Brenda Joyas, CNU-A
Downtown Manager/HPO

Historical Development Board Review Application

Applicant: ICC Gulf Coast Retail I LLC

Address: 25134 Rye Canyon Loop, Suite 300, Santa Clarita, CA 91355

Contact: Cell: 512.387.5862 **Home:** N/A

Email: beau@ironcanyoncapital.com

Property Owner: ICC Gulf Coast Retail I LLC

Address: 25134 Rye Canyon Loop, Suite 300, Santa Clarita, CA 91355

Contact: Cell: 512.387.5862 **Home:** N/A

Property Location and Description: 618 - 634 E. King Ave., Kingsville, TX 78363

Legal Description: 6TH, BLOCK 17, LOT 17-24

Description of Work: Repaint the exterior of the building (all four sides) and install entryway awnings above each tenant's storefront. / Extend outdoor dining space (East Side)

Contractor: Painting: TBD - probably Precision Painting; Awning: South Texas Canvas

Contact: Cell: _____ **Home:** _____

Email: _____

- Documents Required:**
1. Sketch, Drawing, Plans, Site Plans, Mock-ups **Attached**
 2. Photographs (Historic, Current, Surrounding Structures) **Attached**
 3. Materials List or Samples **Attached**
 4. Proof of Ownership **Attached**
 5. Letter of Representation and Work Approval from Property Owner (If Applicable) **Not applicable**

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: ICC Gulf Coast Retail I LLC, Beau Donohoe


Signature:  Date: 03/01/2021



Exhibit 1: Sketch, Drawing, Plans, Site Plans, Mock-ups

JM Design- Kingsville: VIEW 2



Computer monitors and printers vary in color interpretation.
Please consult a Voice of Color fan deck or paint chips to verify color.



Exhibit 1: Sketch, Drawing, Plans, Site Plans, Mock-ups

JM Design- Kingsville: VIEW 1



Computer monitors and printers vary in color interpretation.
Please consult a Voice of Color fan deck or paint chips to verify color.

Exhibit 1: Sketch, Drawing, Plans, Site Plans, Mock-ups

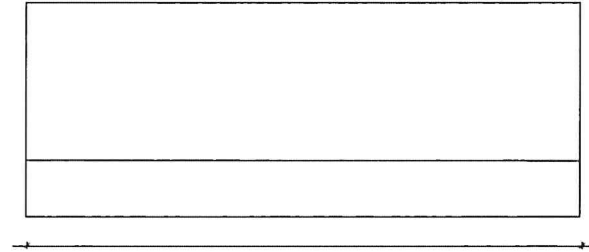
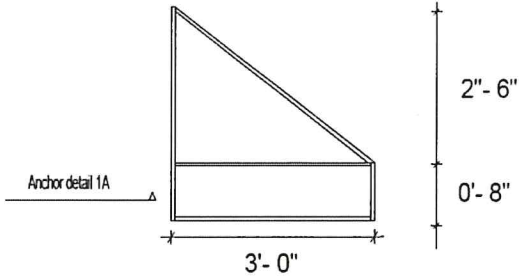
Rendering: Storefront Awning Installation



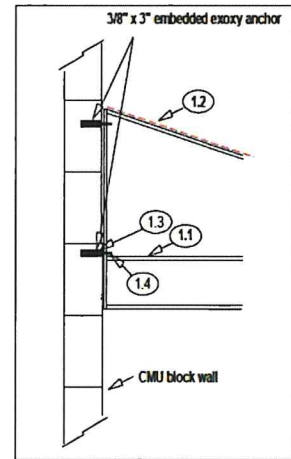
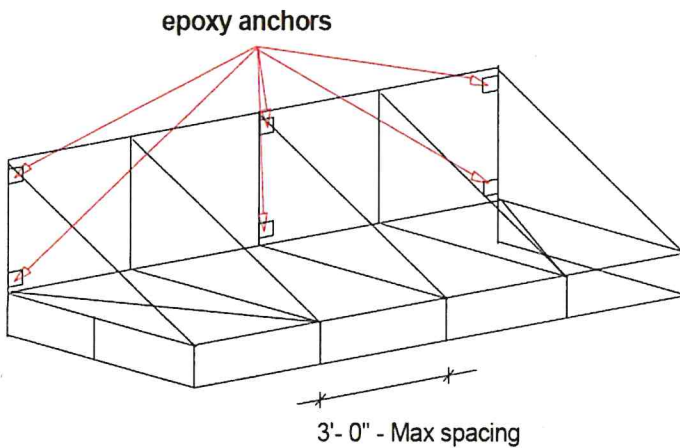
Please note that the color of the awnings is representative. The actual color will compliment the new paint scheme. It will most likely be a dark blue color. A list of representative awning colors have been attached as part of this application

Exhibit 1: Sketch, Drawing, Plans, Site Plans, Mock-ups

**Frontier Plaza
618 - 634 E. King Ave
Kingsville, TX 78363**



9 Awnings
13'-0" to 25'-0"



Anchor detail 1A

- Materials and details:**
- (1.1) Aluminum tube - welded (6063 - T5 / .93)
 - (1.2) Fabric Cover - "Weblon Coastline"
 - (1.3) Hilti HIT-HY 200-R epoxy
 - (1.4) 3/8" dia. all thread anchor bolt

**Frontier Plaza
618- 634 E. King Ave
Kingsville, TX 78363**

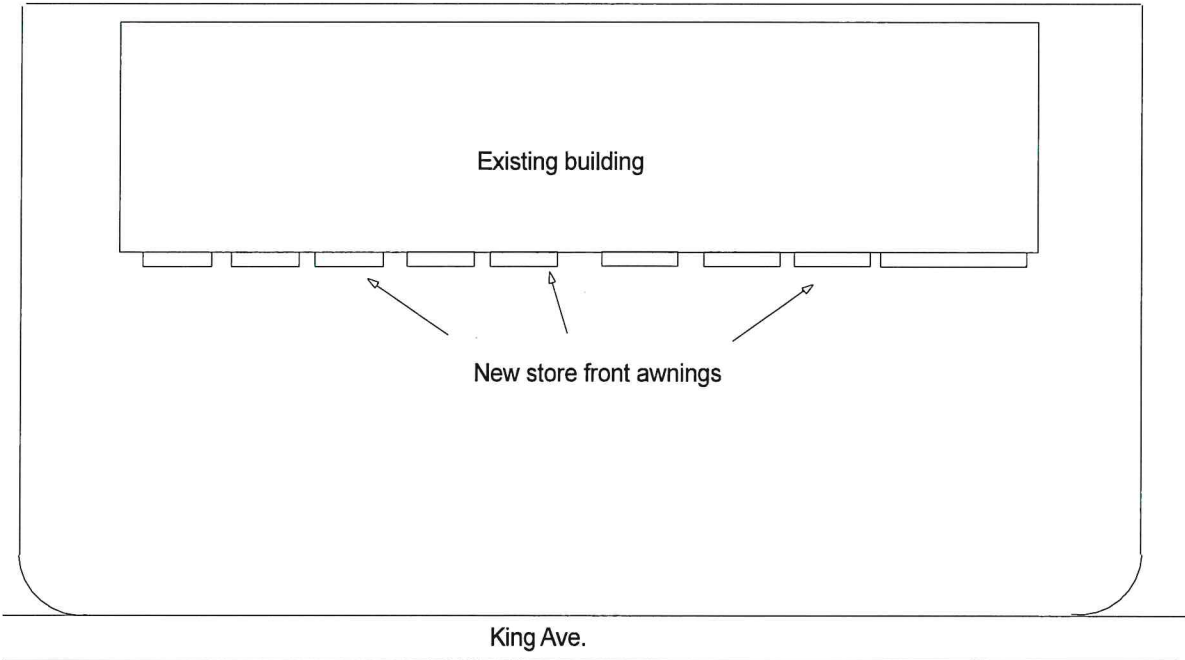


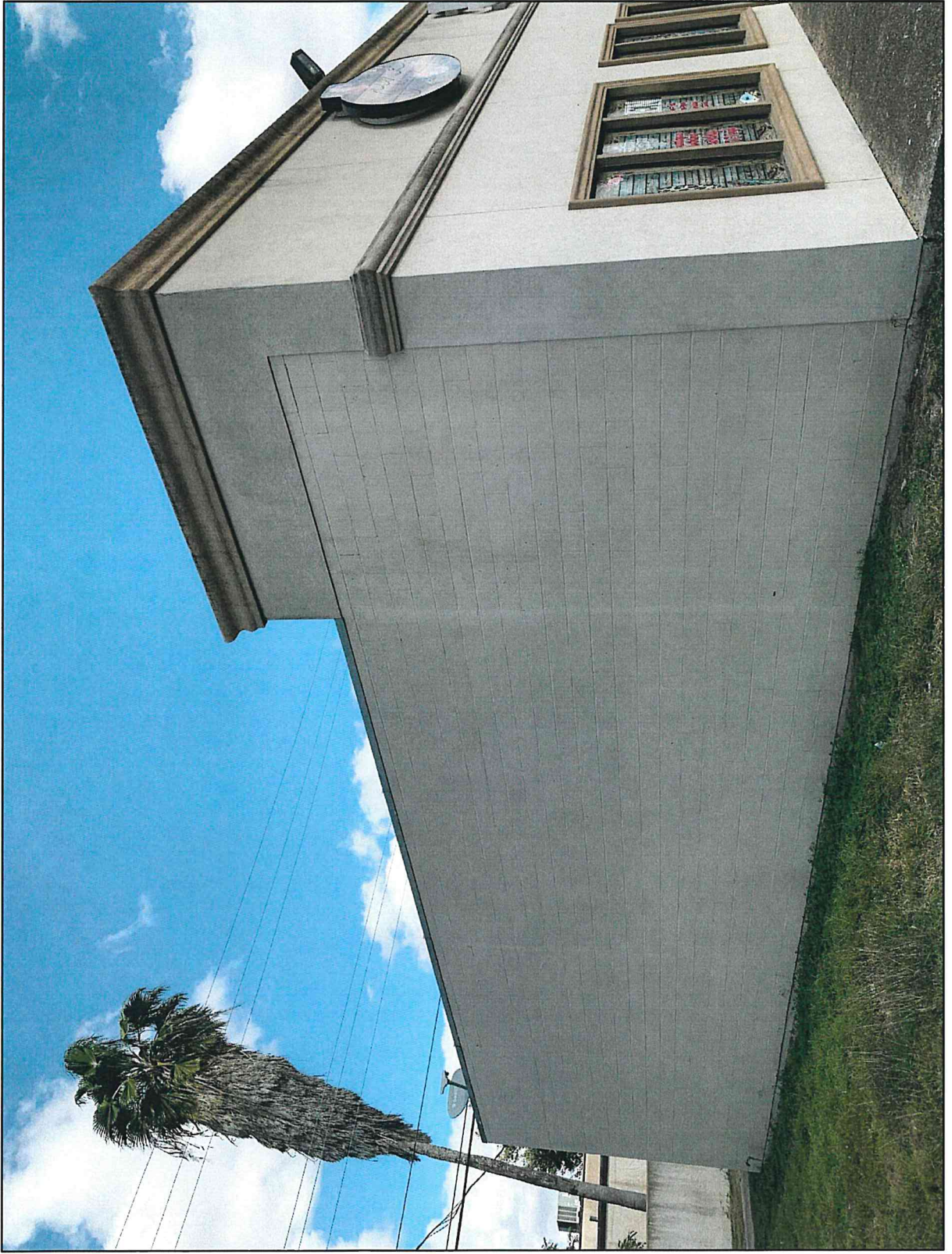
EXHIBIT 2: PHOTOGRAPHS

Subject Property





East side



West Side

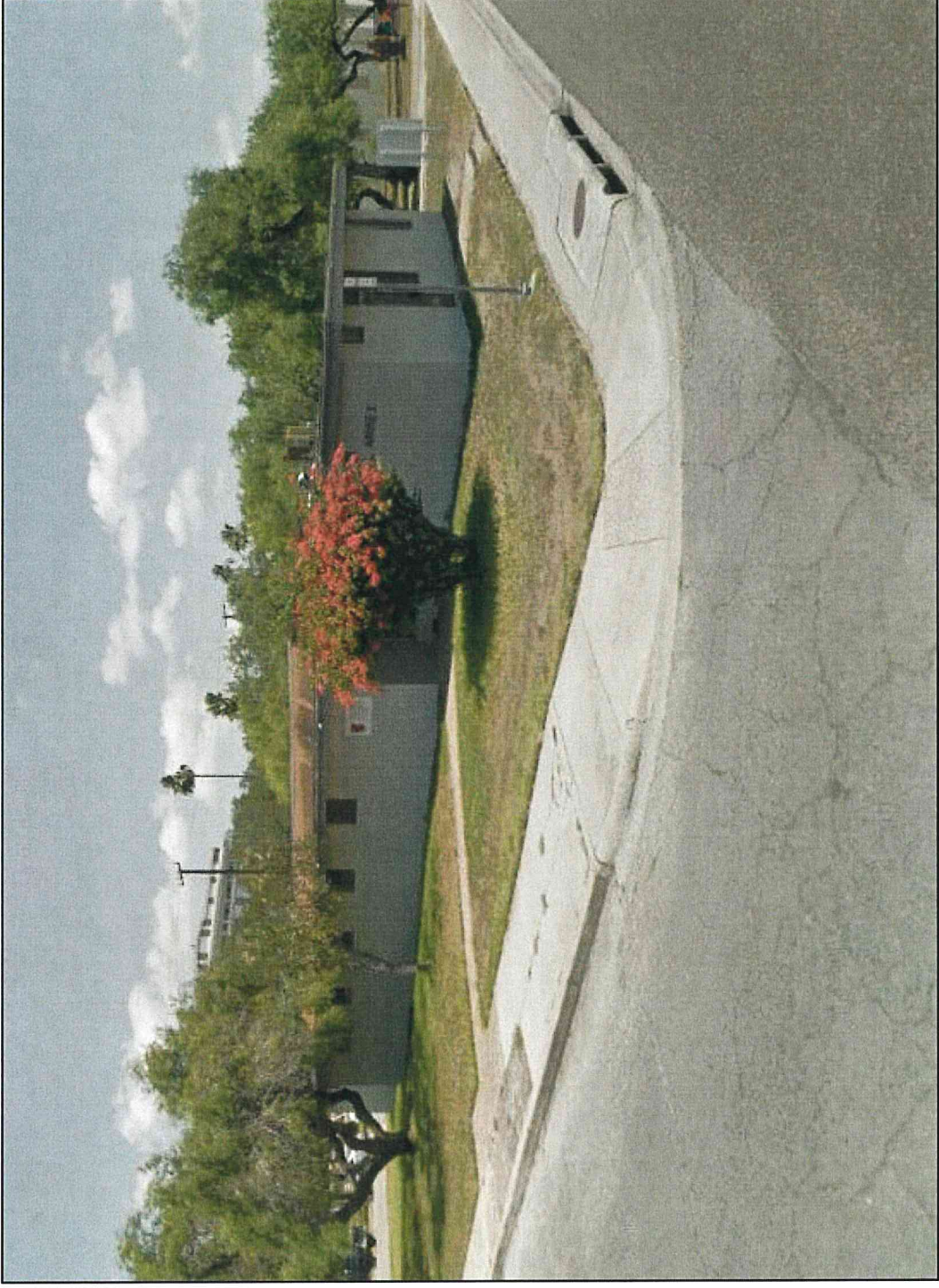


Rear (North) side

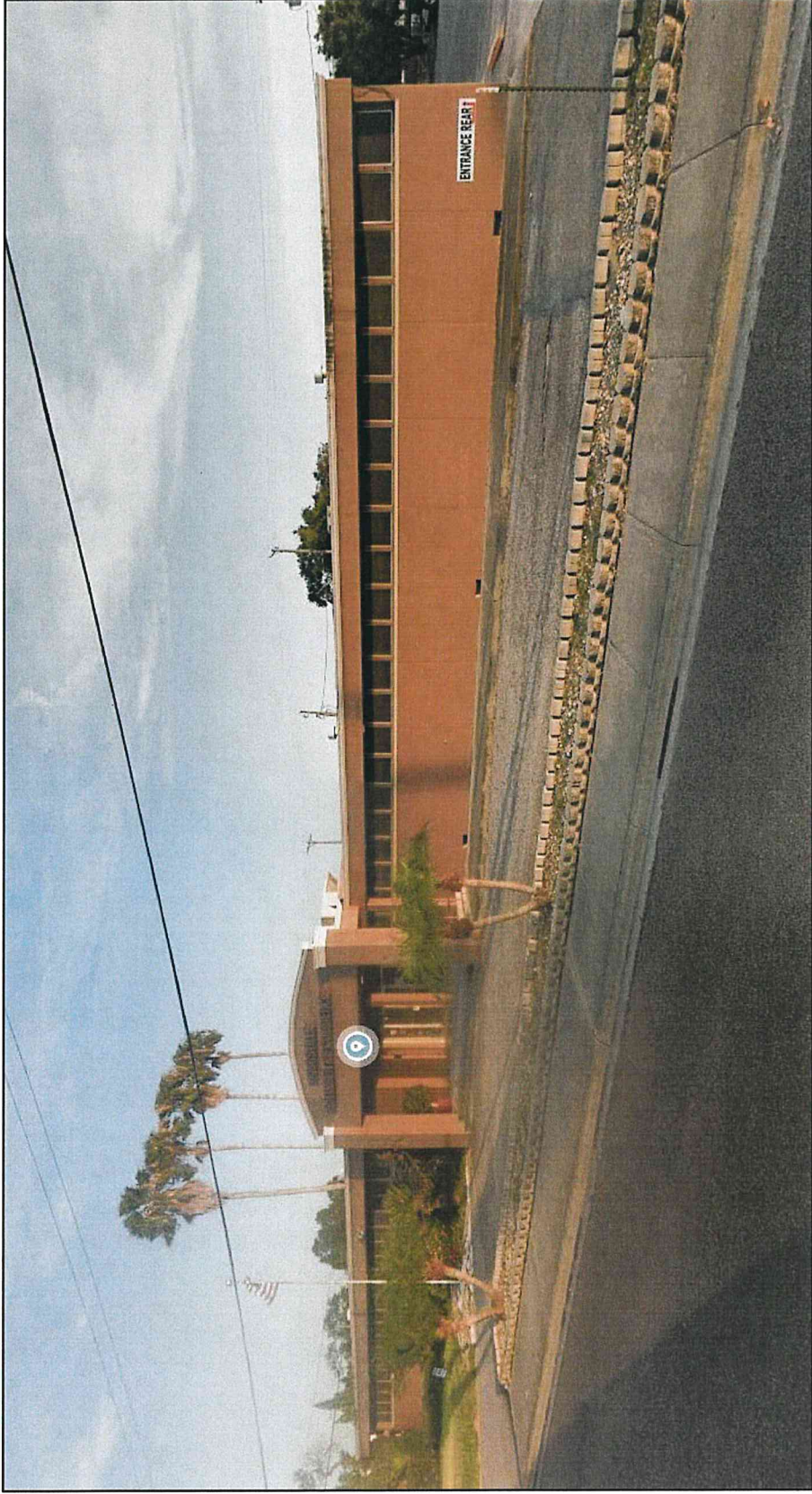
Building to the West:



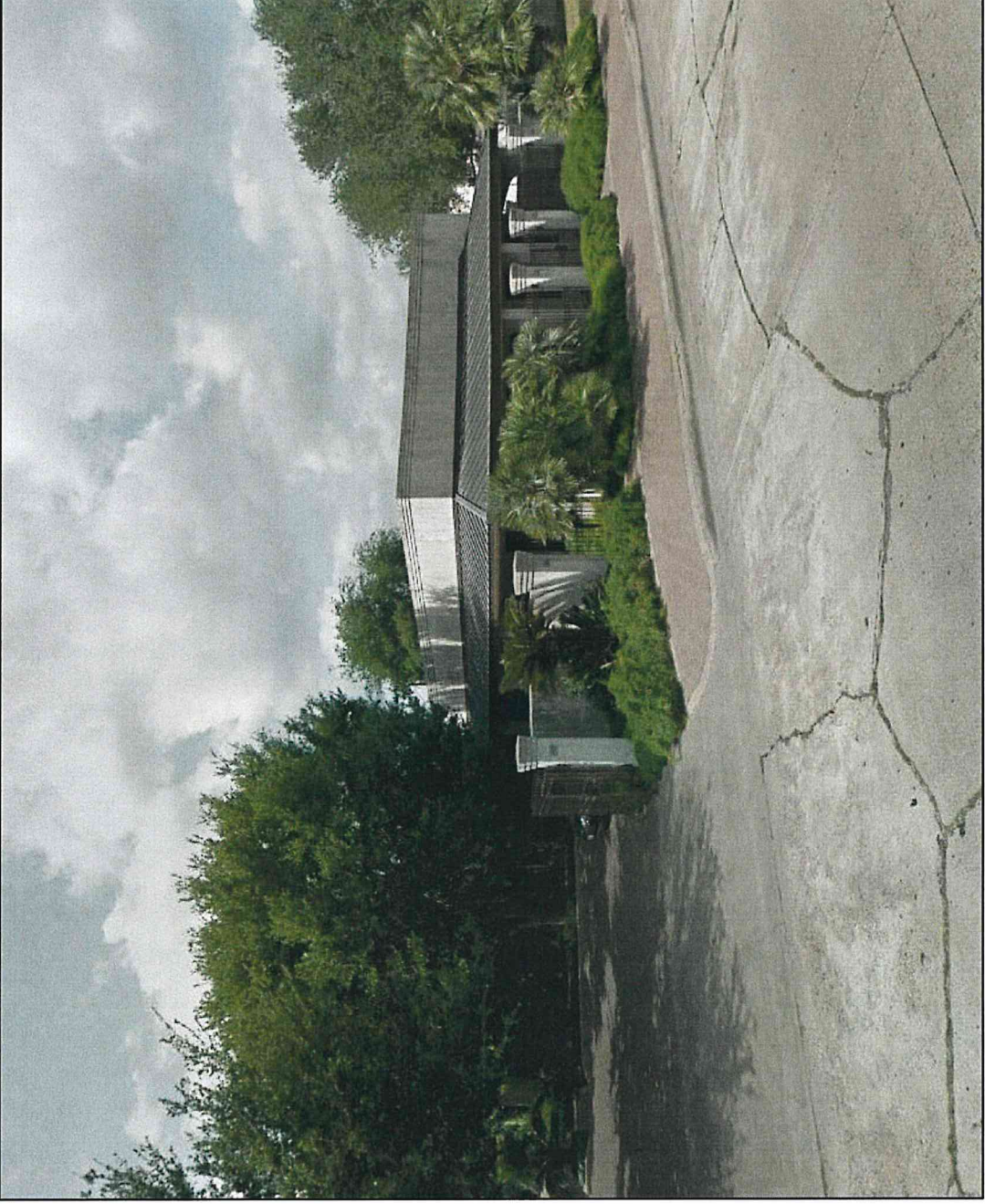
Building to the East:



Building to the South:



Building to the North:





JM Design- Kingsville: VIEW 2

TINSEL

555-3

Band
Cornice
Door
Door Trim
Window Trim

VOLCANIC ASH

555-6

Lower Body

OATMEAL

510-2

Upper Body

Exhibit 3: Material Samples (Awnings)

2013-2014

Weblon®
Coast Line
PLUS®

62" wide / 15 oz. per square yard (weight varies slightly from color to color)

Coastline Plus® awning fabric is a high performance PVC composite that features a strong polyester base fabric. The top surface is treated with the Rain Kleen® finish for color retention and prolonged fabric life. Coastline Plus® is UV, water, and mildew resistant, and is backed by a 5-year limited warranty.

Coastline Plus is available in solids, complement solids, linen-backed solids and select stripe patterns. It is extra strong, with manageable weight for superior resistance to sag and stretch.

Flame resistance meets or exceeds the standards of California State Fire Marshal, NFPA -701 TM2, and ASTM E-84 Class A flame spread.



857239
CP2739 IVORY COAST



857238
CP2738 EBBTIDE TAN



857200
CP2700 SAND



857897
CP2797 ALMOND
PREMIUM



857892
CP2792 BEIGE



857206
CP2706 BEACON YELLOW

857290
CP2790 SAIL WHITE



857223
CP2723 PANAMA PURPLE
PREMIUM



857220
CP2720 MIST BLUE
PREMIUM



857241
CP2741 BAY BLUE



857246
CP2746 OCEAN BLUE



857212
CP2712 DEEP SEA BLUE



857247
CP2747 NAVY BLUE
PREMIUM



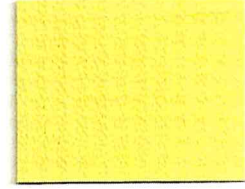
857217
CP2717 GULL GRAY
PREMIUM



857219
CP2719 DRIFTWOOD



857218
CP2718 CHARCOAL GRAY
PREMIUM



857230
CP2730 SUNRISE SAFFRON
PREMIUM





857242
CP2742 TROPIC GREEN
PREMIUM



857204
CP2704 ISLAND TURQUOISE



857202
CP2702 SEA PALM
PREMIUM



857243
CP2743 TEAL
PREMIUM



857201
CP2701 HARBOR GREEN



857211
CP2711 GLADE GREEN



857891
CP2791 DARK TAUPE
PREMIUM



857896
CP2796 TERRA COTTA



857209
CP2709 RUST



857205
CP2705 CORK BROWN



857225
CP2725 BARQUE BROWN



857245
CP2745 PIRATE BLACK

Coastline Plus® Duplex Patterns

Solid topside with Linen print underside.

TOP

UNDERSIDE



857111
CP2811 GLADE GREEN
PREMIUM



JADE LINEN

TOP

UNDERSIDE



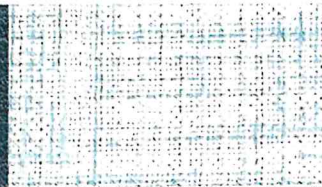
857250
CP2750 CORK BROWN



SAND



857112
CP2812 DEEP SEA BLUE
PREMIUM



MIST BLUE LINEN



857251
CP2751 GLADE GREEN



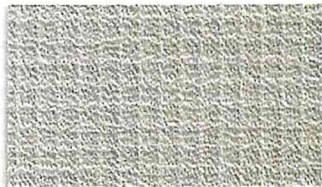
WHITE



857252
CP2752 RUST



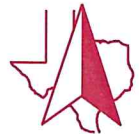
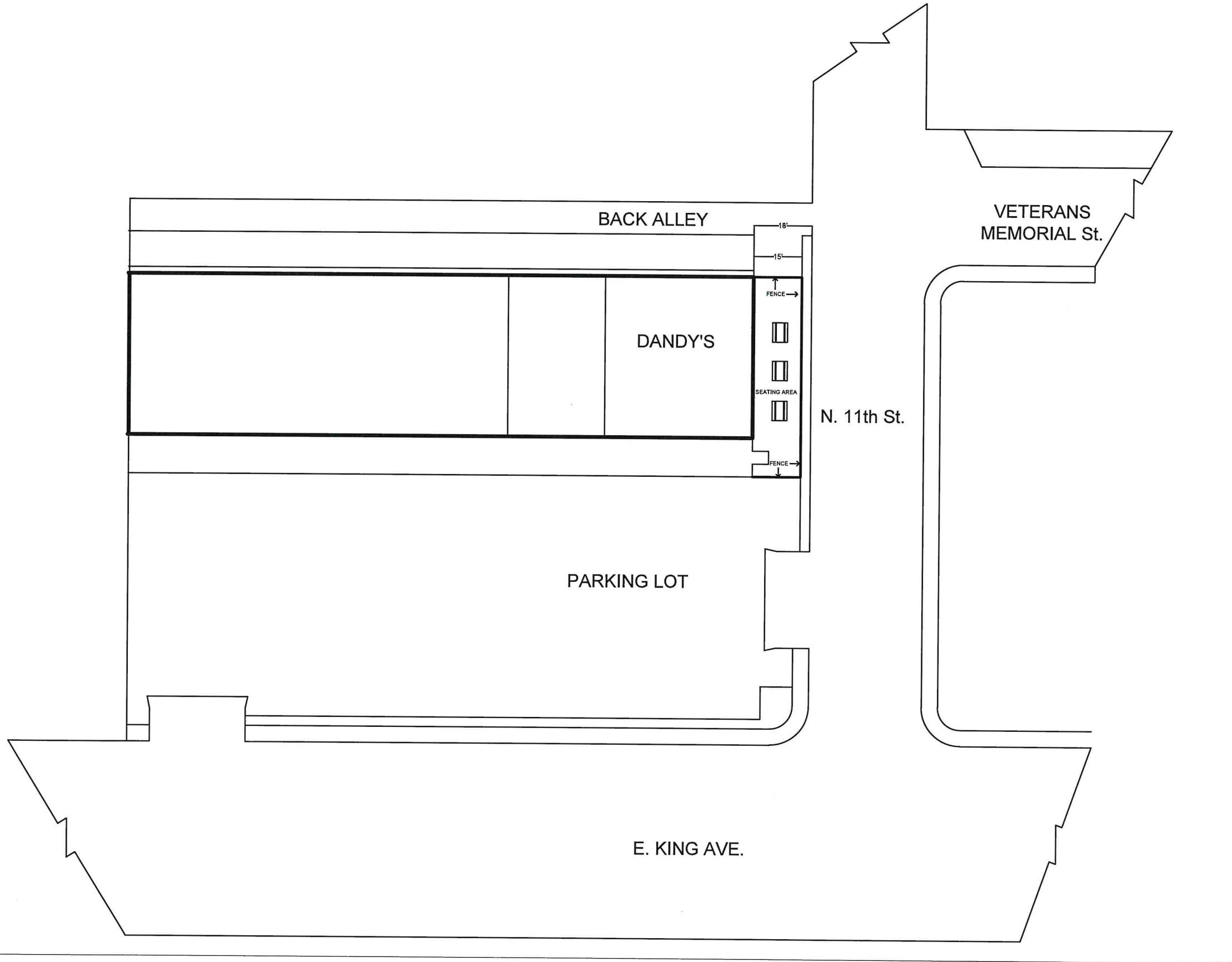
IVORY



857156
CP2856 METALLIC SILVER
PREMIUM



SILVER

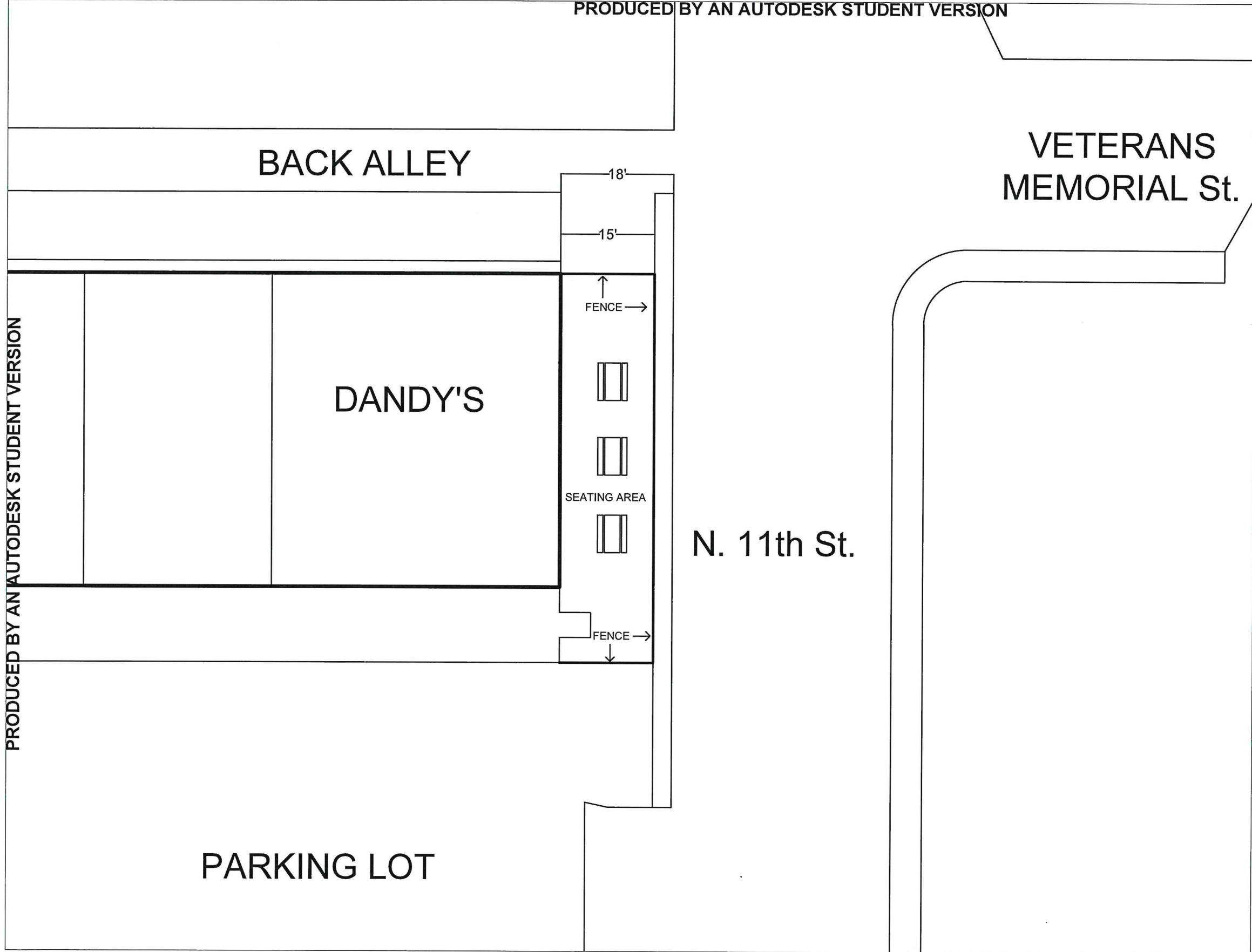


1
2

SITE PLAN

SCALE: 1/32 = 1'-0"

<p>SITE PLAN 0001</p>	<p>PROJECT SITE: 620 E. KING AVE, KINGSVILLE, TX 78363</p>	<p>OWNER: ICC Gulf Coast Retail I LLC BEAU DONOHOE (512) 387-5862</p>
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2
2

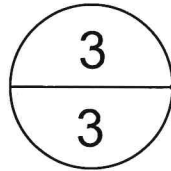
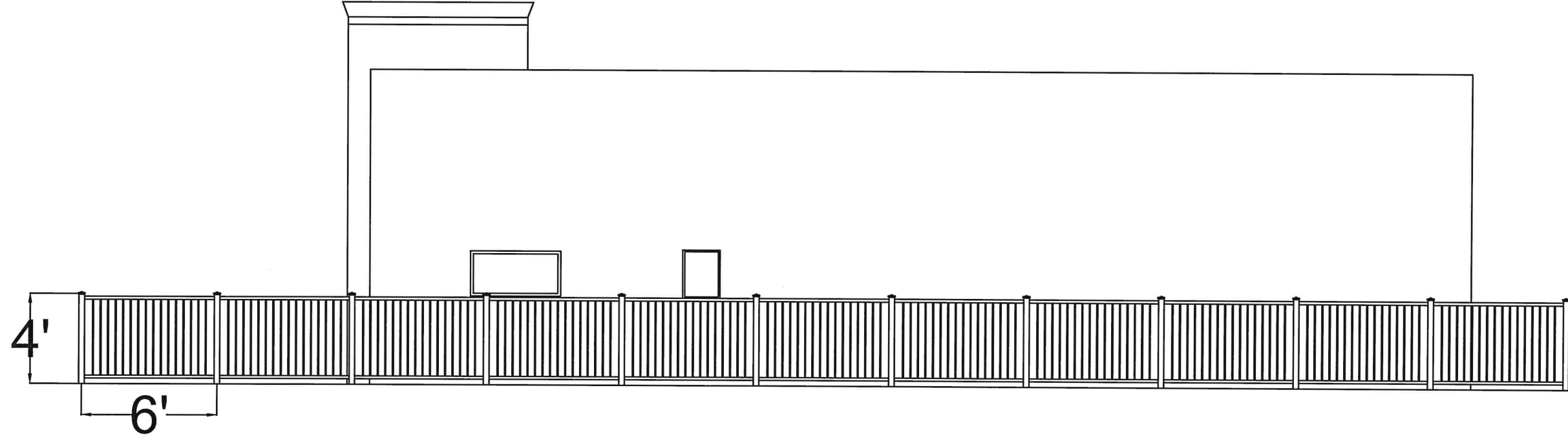
SITE PLAN

SCALE: 1/16" = 1'-0"

SITE
PLAN
0002

PROJECT SITE:
620 E. KING AVE,
KINGSVILLE, TX 78363

OWNER:
ICC Gulf Coast Retail I LLC
BEAU DONOHOE
(512) 387-5862



ELEVATION

SCALE: 3/16" = 1'-0"

ELEVATION
0003

PROJECT SITE:
620 E. KING AVE,
KINGSVILLE, TX 78363

OWNER:
ICC Gulf Coast Retail I LLC
BEAU DONOHOE
(512) 387-5862

CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: April 21, 2021
TO: Historic Development Board
FROM: Brenda Joyas, CNU-A (Downtown Manager/HPO)
SUBJECT: 614 W. Richard Avenue Addition and Remodel
APPLICANT: Abel Balboa, Jr., Contractor
CONTRACTOR: Acina Construction

REQUEST

To Discuss and Consider Action on addition and remodel of Henrietta Hgts, Block 2, Lot W/2, 22, 23, 24 also known as 614 W. Richard Avenue.

EXHIBITS

Historical Development Board Application, Kleberg County Appraisal District Appraisal, Homeowner's Request, Homeowner's Pictures, Map of Home Location, Staff Pictures, Site Plan and Layout 1&2.

BACKGROUND & PERTINENT DATA

Homeowners would like to expand their home to be able to enlarge their kitchen, dining room, sunroom, and add a master suite. The addition will be added to the rear of the home in the same width of the existing home and would just expand to the rear of the property. Homeowners state in their letter the front of the home will not change besides updating/replacing of the materials with Hardie-Plank.

STAFF REVIEW & RECOMMENDATION

Due to the expansion of the addition being to the rear of the home and style of the house staying in par with the present home, staff recommends historical approval.

BOARD REVIEW

Scope of Historical Development Board

In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.
- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.
- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the

structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.

- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Brenda Joyas, CNU-A
Downtown Manager/HPO

Historical Development Board Review Application

Applicant: Abel Balboa Jr / ALINA Const.
Address: 808 W. Ave I Kingsville, TX 78363
Contact: Cell: 361-227-5084 Home: _____
Email: 3fab17@gmail.com

Property Owner: Fabrizio Martorello
Address: 614 W Richard Ave Kingsville, TX 78363
Contact: Cell: 914-420-6960 Home: _____

Property Location and Description: 614 W. Richard Ave
Addition to Home Mstr Bedroom + Baths

Description of Work: Add. to Mstr Bedroom, Baths, expanded
Kitchen + Dining room, sunroom/screen porch
All of which are to the rear of the prop.

no chg to street view of Home.

Contractor: Abel Balboa Jr
Contact: Cell: 361-227-5084 Home: _____
Email: 3fab17@gmail.com

Documents Required:

1. Sketch, Drawing, Plans, Site Plans, Mock-ups
2. Photographs (Historic, Current, Surrounding Structures)
3. Materials List or Samples
4. Proof of Ownership
5. Letter of Representation and Work Approval from Property Owner (If Applicable)

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: Fabrizio Martorello
Signature: [Handwritten Signature] Date: 3/13/2021





City of Kingsville
Historical Development Board

3/2/2021

To Whom it may concern,

We humbly request an approval from the board for an expansion of our permanent home. The proposed engineering drawings and site plans delineate the extent of the project, which, in brief, extends the home rearward to add additional restrooms, master bedroom and entertainment space via an expanded kitchen and dining area that my wife Elvira has been waiting on for the last 9 years since we made the to 614 W Richard Avenue upon retirement from our respective careers. We originally purchased the home 19 years ago as an investment property and over the years felt truly at home in Kingsville and made the big move in 2012.

In short, the street-side appearance of the home will still be maintained in the style and construction as originally built, with updated insulation and siding which is in need of replacement. The expansion goes directly rearward and is going to have the home extending back to the same depth as the other homes on the block, which will also maintain continuity, should anyone feel the need to walk between the homes to observe the neighborhood (unlikely but possible) The bottom 2 photos (attached) are intended to show that perspective, while the first 4 images show the home from the front, which will not change (besides updating/replacing of materials), to include angular views that show the adjacent homes on the West 600 block of Richards Avenue.

Regarding materials, we propose to replace the wood siding with Hardie-plank.

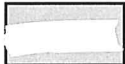
Voss Engineering has done the required design work for Windstorm approvals, foundation, and all the other needed parts of compliance to the most up to date building codes, HOWEVER, these requirements do not cause a change in the external look and feel of the home or disrupt it's proper place in our cozy little neighborhood.

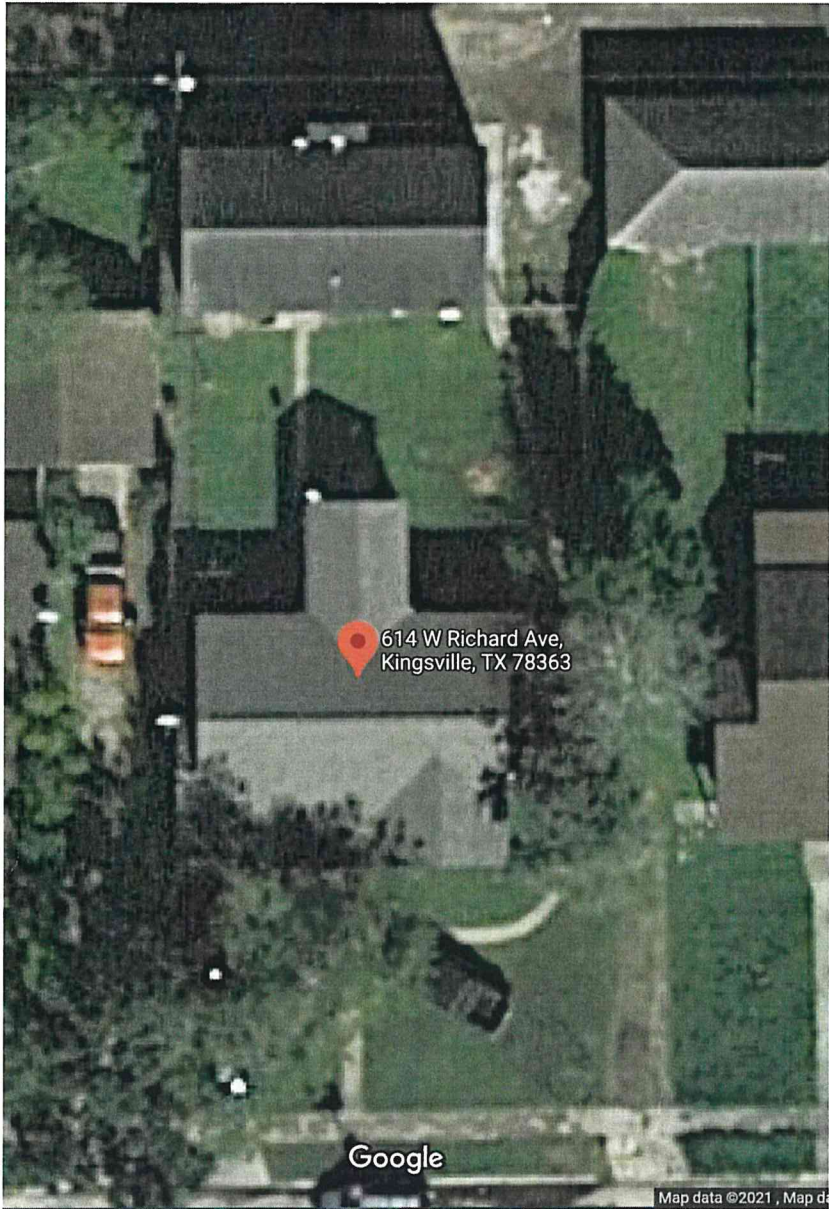
Our Contractor is Abel Balboa, of Acina Construction, who has an extensive resume and we trust him deeply, having worked together on many projects..... and he is as concerned as we are about doing things the right way. We communicate constantly and fully expect this interaction between ourselves, Acina construction and the city of Kingsville to be a smooth and productive experience for all parties.

Respectfully,

Fabrizio & Elvira Martorello
614 W Richard Avenue
Kingsville, TX 78363

Attached: photo images, engineering drawings, proof of ownership and completed application form





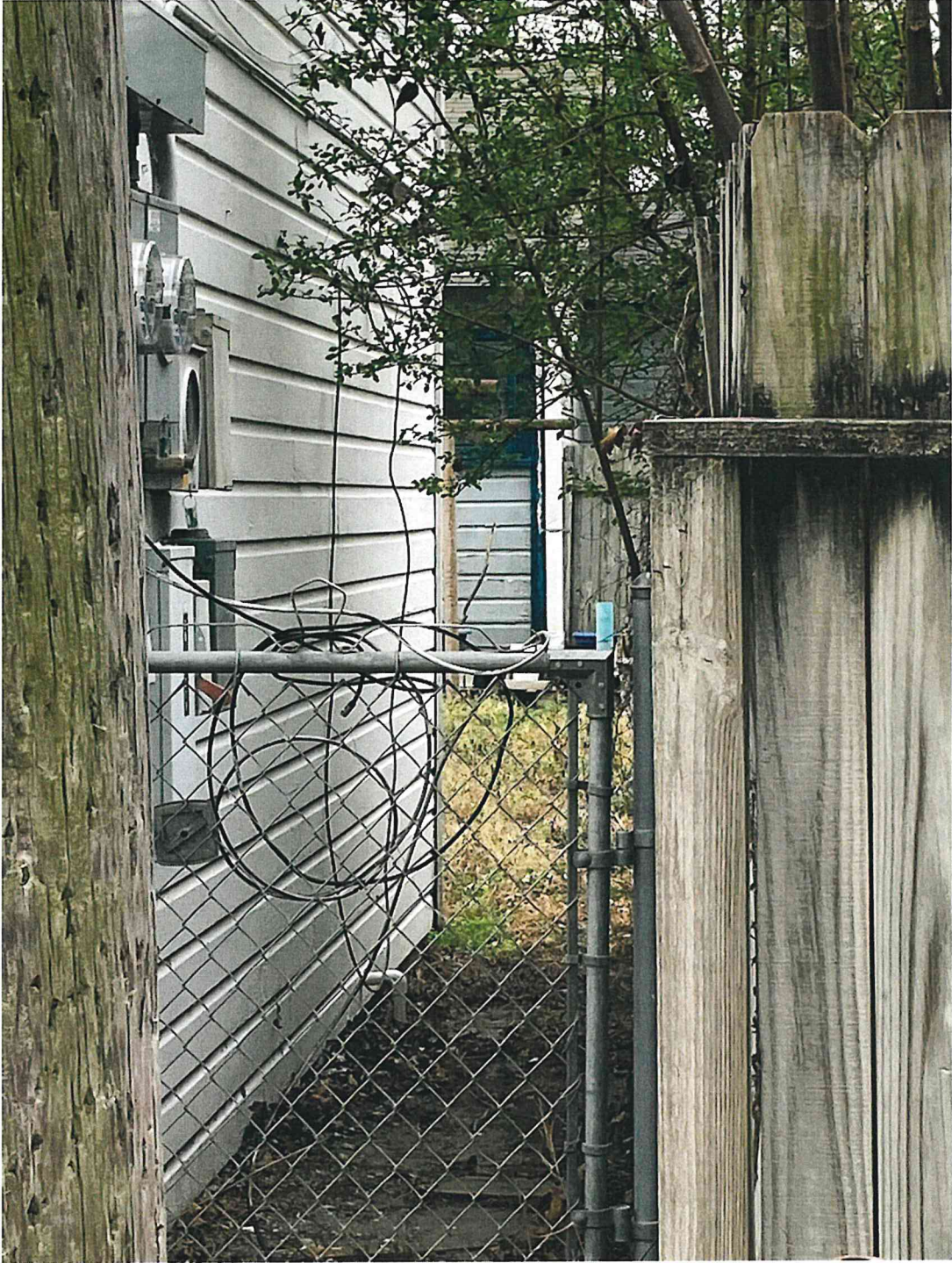
614 West Richard Avenue

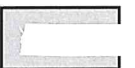
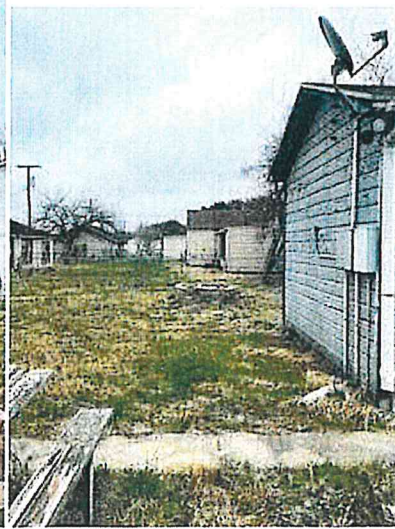
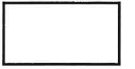


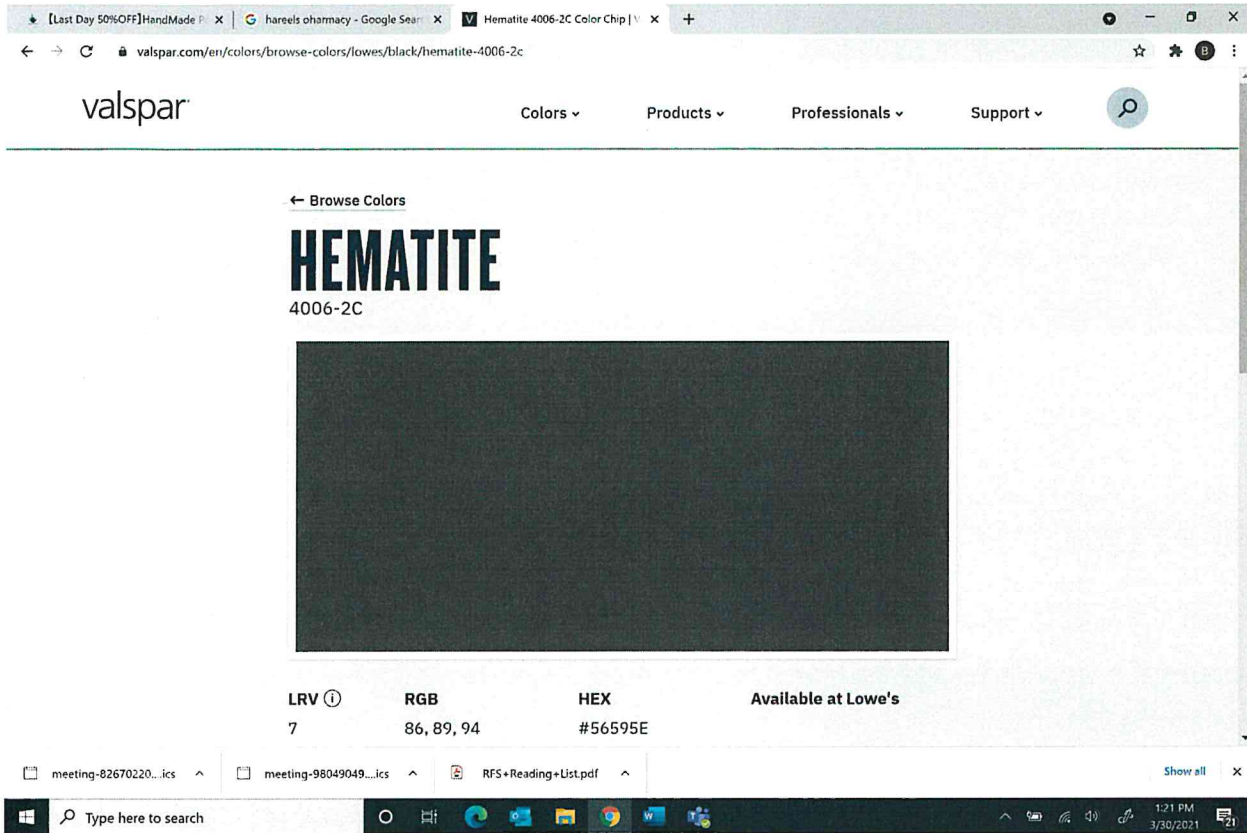
Alley View of Apartments (white) in the Rear of the House (blue)



Alley View of the Right Side of Apartments (white) and View of the House (blue)







Paint color for the house is Hematite (dark grey) with white trim - same color used at 307 w Lee and 727 w yoakum.

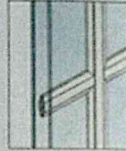
Achieve the look of divided light with exterior applied grilles w
choose grilles-between-the-glass for easy glass cleaning.

Exterior Applied Grilles with Grilles-Between-the-Glass:



7/8" Contour Exterior Applied Grille with
1" Contour Grilles-Between-the-Glass

Grilles-betwe



3/4" Contour

erns

Choose from a variety of grille patterns for the traditional look



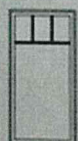
Traditional



6-Lite
Prairie



9-Lite
Prairie



Top
Row



Starburst

The windows are going to be Hurricane rated vinyl from Jenn-Weld or Pella (TBD based on availability)

Our current windows are standard frame and we haven't yet decided between sticking with that or going to the traditional "grid/box" style windows.. (see pic that shows both style descriptions as well as actual pic that shows both styles) our big front window is currently 3 side by side standard clear pane... I've also provided a pic on how it would look different with the traditional box/grid pattern.

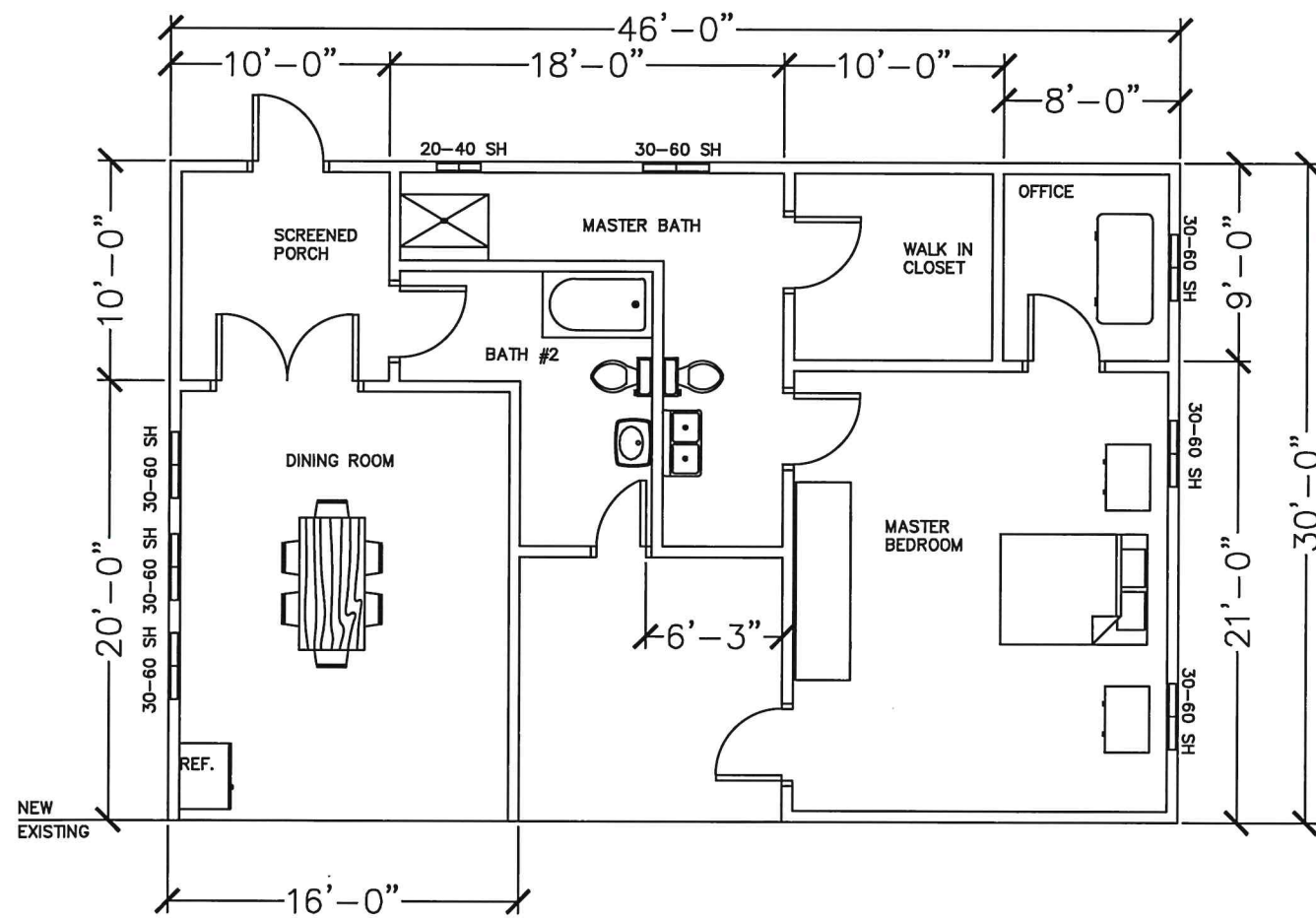
de primera calidad con
ro de energía superior

BETTER | MUY BUENO



250 PELLA 250 SERIES
ional vinyl

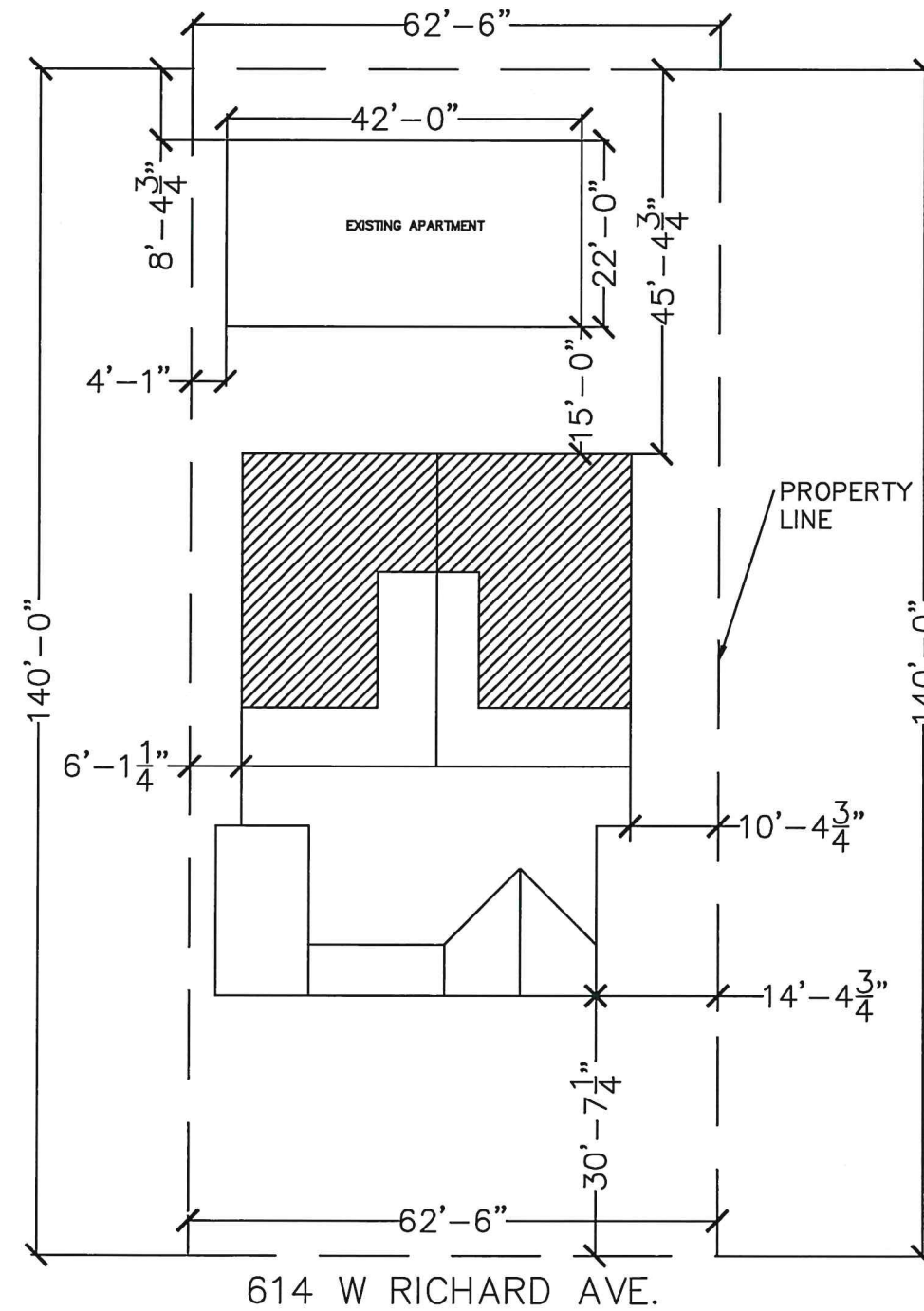




FLOOR PLAN
SCALE- 1"=100'

Main house 1736 sq ft
 Apts 924 sq ft Total existing is 2660 sq ft
 Proposed addition 1188 sq ft
 New combined total 3848 sqft

Lot size 8750 sq ft (62.5x140)
 Combined total Dev 3848 sqft
 Remaining open space 4902 sq ft



SITE PLAN
SCALE- 1"=250'

ACINA CONSTRUCTION
 808 WEST AVENUE I
 KINGSVILLE, TEXAS 78363

REV:2
DRAWN BY: T.MORA
DATE: March 12, 2021
JOB NO: 1102021
H. SCALE: N/A
V. SCALE: N/A

HOUSE ADDITION
 614 WEST RICHARD AVENUE
 KINGSVILLE, TEXAS 78363

CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: April 21, 2021
TO: Historic Development Board
FROM: Brenda Joyas, CNU-A (Downtown Manager/HPO)
SUBJECT: 315 N 3rd Street
APPLICANT: Dennis Yaklin, Owner
CONTRACTOR: Cruz Garza

REQUEST

To Discuss and Consider Action on home remodel on Orig Town, Block 31, Lot 14-16, (Apts) also known as 315 N. 3rd Street.

EXHIBITS

Historical Development Board Application, Roof Drawings for Accessory Building, Roof Drawings for Main House, Owner Pictures and Staff Pictures.

BACKGROUND & PERTINENT DATA

Dennis Yaklin would like to remodel the home and replace the roof, windows, doors, and paint. Mr. Yaklin states the color is Stone Lion (please see attached color swatches and examples). He would like to replace the roof with a metal roof as his neighbor to the north on W. Lee Avenue has (as shown in the attached pictures), replace all the doors with a six panel metal door (picture attached), replace windows (pictures attached), and close-in some windows for safety, energy, and privacy reasons (pictures also attached).

STAFF REVIEW & RECOMMENDATION

The property is in great disrepair and shows signs of vagrancy on the property. Remodeling the home would bring it back to its splendor and help the neighborhood look better. Staff recommends approval.

BOARD REVIEW

Scope of Historical Development Board

In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.
- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.
- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or

appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.

- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
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3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
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5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Brenda Joyas, CNU-A
Downtown Manager/HPO

315 N 3rd Street Remodel

Additional Board Questions:

Pictures of the windows and exact locations where they will be installed?

Please see attached pictures with orange spray paint, marked with an x will be closed in.

Pictures of the doors and exact locations where they will be installed?

All doors (8) will be replaced with a 6 panel metal door. Please see attached picture.

Will the roof look like the red metal roof pictures you submitted or will it be a different color? Please provide a color swatch for the roof.

Please see attached pictures with exact design and color.

Will the eaves be closed?

Yes, and they will be painted the color: Eclipse (similar to a hunter green color)

What will the stone lion paint be applied to? Doors? Windows? Trim? Whole house? Please provide a paint swatch.

Stone Lion paint will be to the brick and windows only.

Eclipse will be to all the trim and doors.

Historical Development Board Review Application

Applicant: Dennis Yaklin
Address: 618 W AVE C OFFICE Kingsville, TX 78363
Contact: Cell: 361 228 8200 Home: 228-8200
Email: Cpt4you@sbcglobal.net

Property Owner: Dennis Yaklin
Address: 315 Nth 3rd St. Kingsville, TX 78363
Contact: Cell: 361 228 8200 Home: 228 8200
Property Location and Description: 315 Nth 3rd Street 5unit Apartment

Description of Work: Replace Roof, windows, & Doors
PAINT (-Stone Lion), close in some windows

Contractor: CRUZ Garza
Contact: Cell: 361-455-8138 Home: _____
Email: _____

Documents Required:

- ① Sketch, Drawing, Plans, Site Plans, Mock-ups
2. Photographs (Historic, Current, Surrounding Structures)
3. Materials List or Samples
- ④ Proof of Ownership
5. Letter of Representation and Work Approval from Property Owner (If Applicable)

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: Dennis Yaklin

Signature: Dennis Yaklin Date: 3-10-21



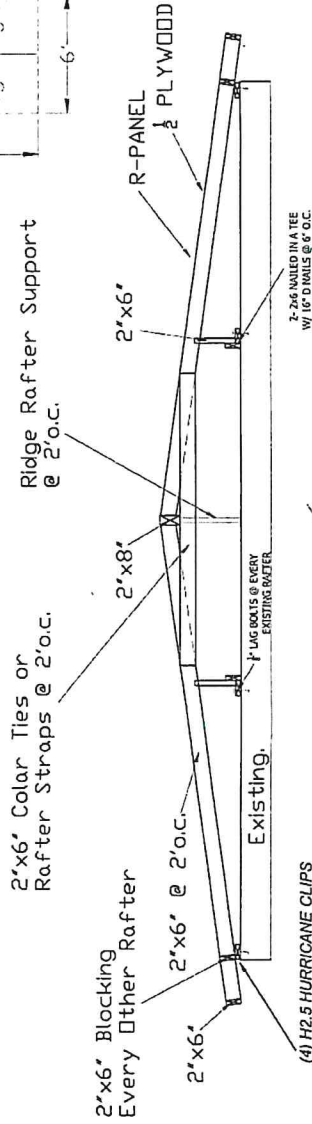
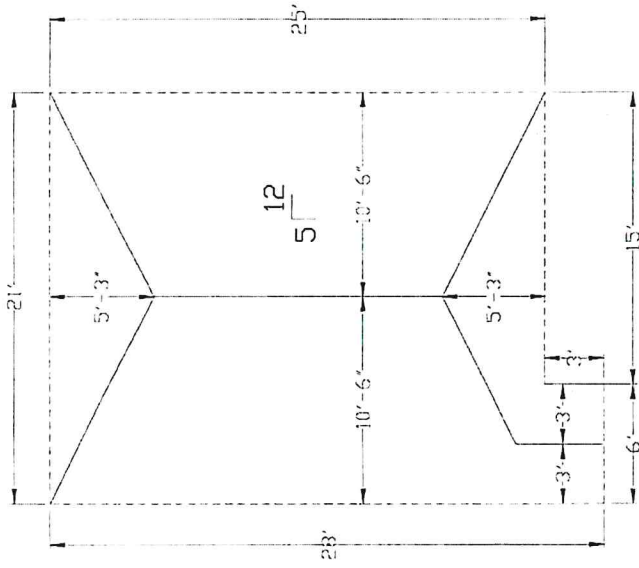
Codes and Design Specification

1. Building Code : IRC 2018
2. IBC 2018 Risk category II
3. Wind: 2018 IRC wind speed 150 mph gust exposure "C"

NOTE:

All nails into treated wood shall be min. Hot Dip Galvanized, all other fasteners shall be Hot Dipped, Electrically or Mechanically Galvanized, or Stainless Steel.

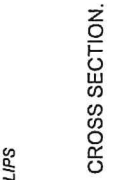
Framing Material—S.P.F. #2 or better
 Sheathing Material—Plywood or Oriented Strand Board, shall be APA-Rated
 Sheathing for floors, roofs and walls.



2x4 NAILED IN A TEE
 W/ 16" O.N.S. @ 6' O.C.

LAG BOLTS @ EVERY
 EXISTING RAFTER

(4) H2.5 HURRICANE CLIPS



CROSS SECTION.

NEW ROOF OVER EXISTING ROOF
 FOR
 315 NORTH 3RD STREET
 KINGSVILLE, TEXAS
 REAR BUILDING



MICHAEL L. HAHN
 LICENSED PROFESSIONAL ENGINEER
 STATE OF TEXAS
 LICENSE NO. 1173

PRESHO SYSTEMS SERVICES
 1401 PINEWOOD DRIVE, SUITE 1148
 HOUSTON, TEXAS 77055
 (713) 241-7400
 WWW.PRESHOSYSTEMS.COM

DATE: MARCH 6, 2011
 P.E. #1347

Material list

- ① 6 PANEL DOORS - metal
- ② Vinyl Windows
- ③ Metal Roof
- ④ Paint Light TAN
(Stear Lion)

Codes and Design Specification

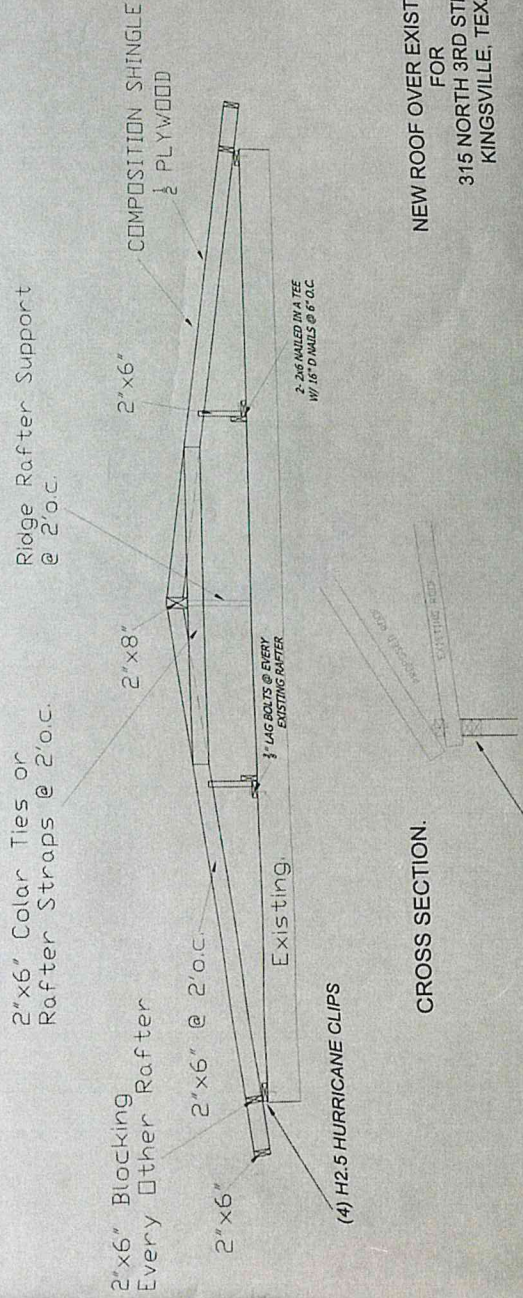
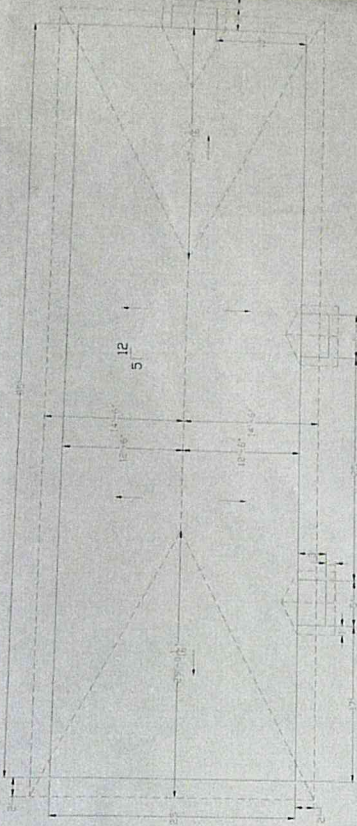
1. Building Code : IRC 2018
2. IBC 2018 Risk category II
3. Wind: 2018 IRC wind speed 150 mph gust exposure "C"

NOTES:

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Framing Material—S.P.F. #2 or better

Sheathing Material—Plywood or Oriented Strand Board, shall be APA-Rated Sheathing for floors, roofs and walls.



FRESNO SYSTEMS SERVICES
 ENGINEER
 1000 N. GARDEN ST. SUITE 100
 FRESNO, CA 93703
 (559) 435-1111
 WWW.FRESNOSYSTEMS.COM
 DATE: MARCH 2, 2021
 JOB NO.: 21000001
 P.E. NO.: 21000001
 P.E. NO.: 21000001

**NEW ROOF OVER EXISTING ROOF
 FOR
 315 NORTH 3RD STREET
 KINGSVILLE, TEXAS**

5401

Description of work

0

361-767-4160 EXT. 7606
888-870-8789
FAX: 361-767-4173

n.meyer@muellerinc.com
3 HWY 77
3STOWN, TX
w.muellerinc.com

248-C3

SW 7507
Stone Lion

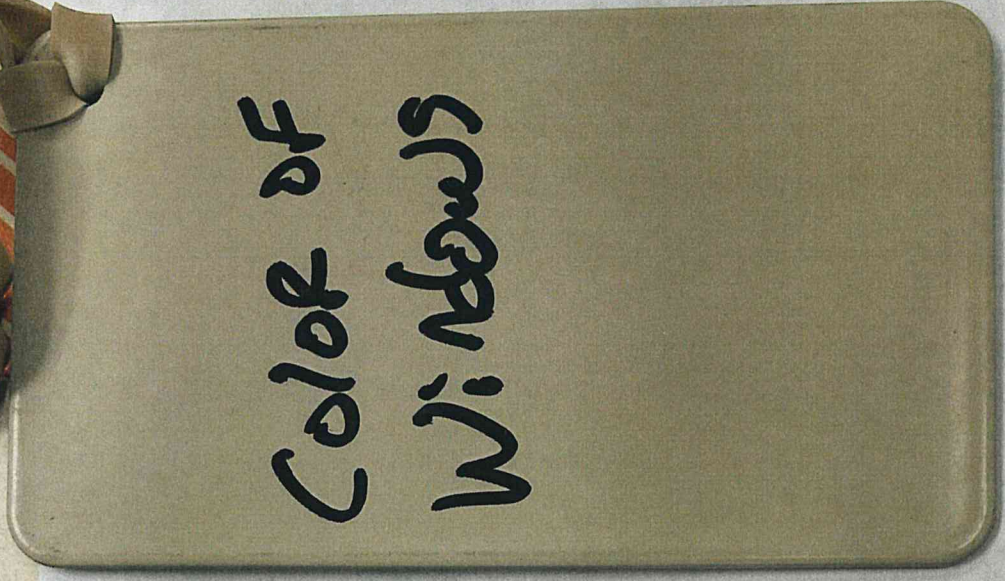
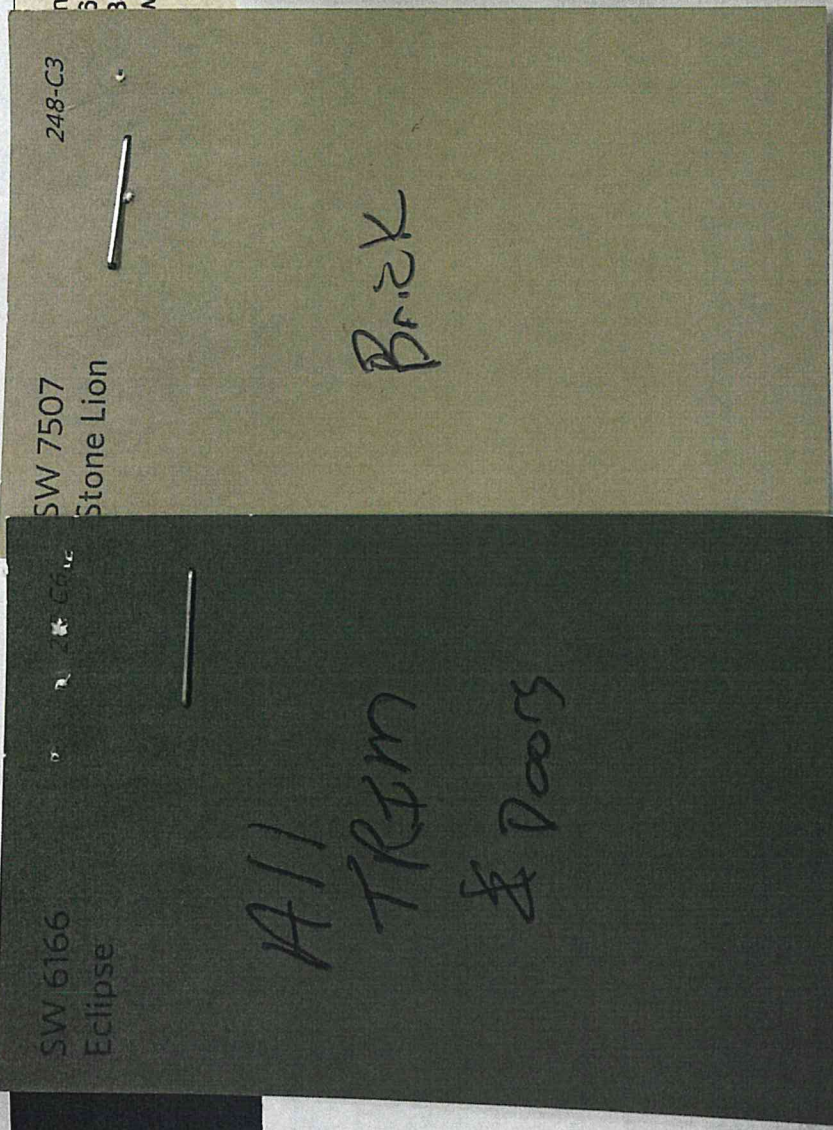
Brick

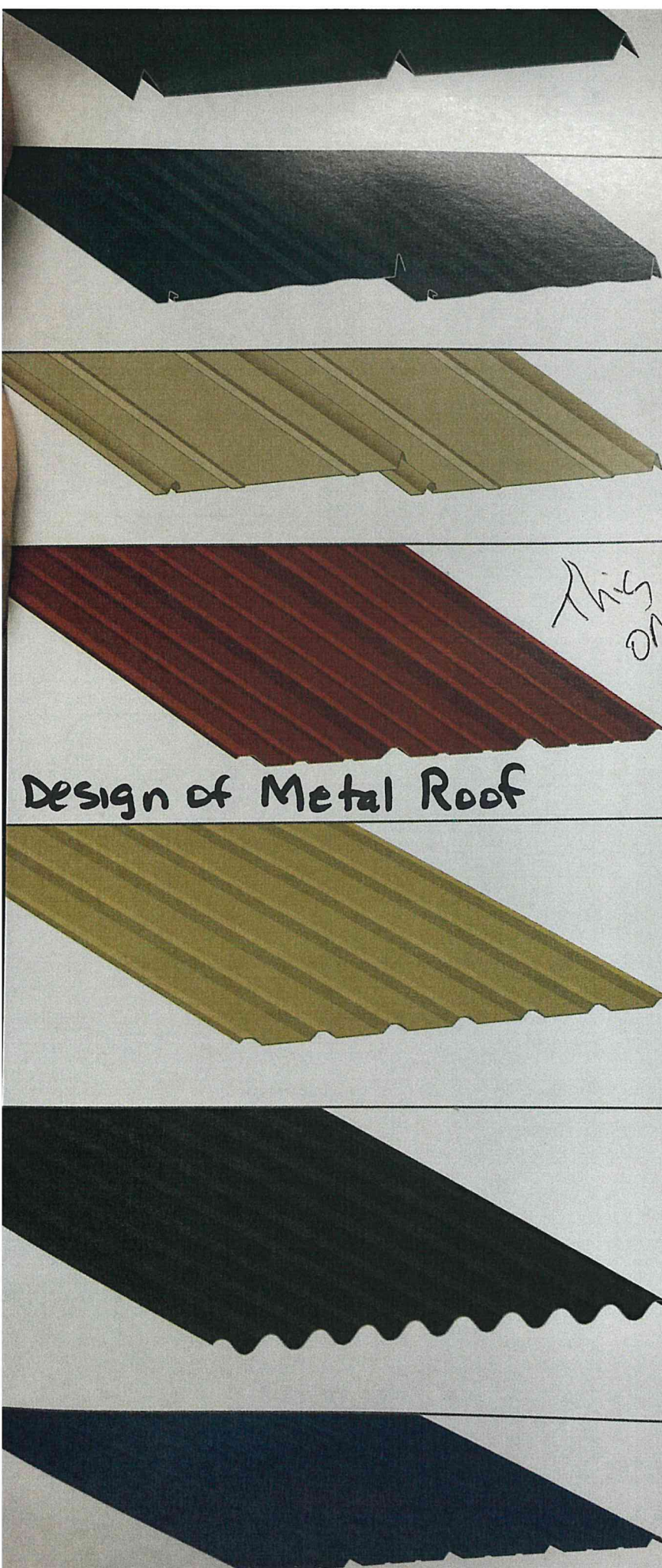
SW 6166
Eclipse

All
Trim
& Doors

BUILDING COLORS

Color of
Windows

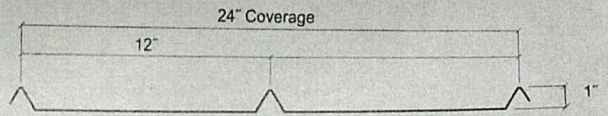




Design of Metal Roof

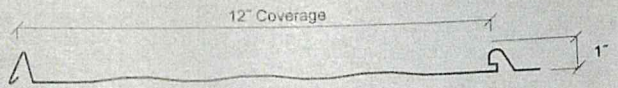
This one

(Available in 26 gauge)



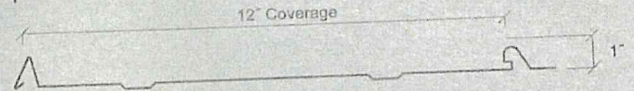
CFS PANEL

(Available in 26 gauge)



CF PANEL

(Available in 26 gauge)

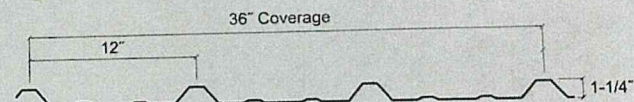


R & PBR PANEL

36" Coverage



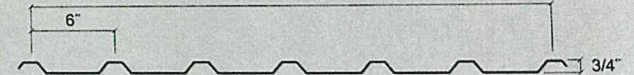
R PANEL (Available in 26 gauge)



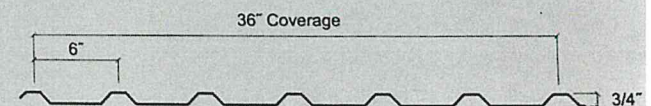
PBR PANEL (Available in 26 gauge* and 24 gauge**)

U & PBU PANEL

36" Coverage



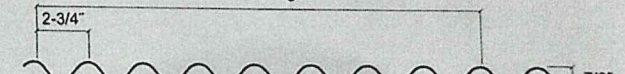
U PANEL (Available in 26 gauge)



PBU PANEL (Available in 26 gauge* and 24 gauge**)

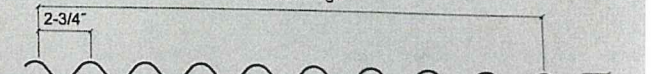
CORRUGATED & CPB PANEL

29" Coverage



CORRUGATED PANEL (Available in 26 gauge)

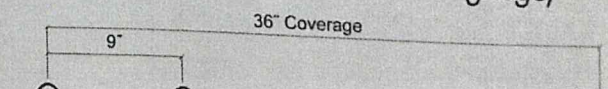
31.5" Coverage



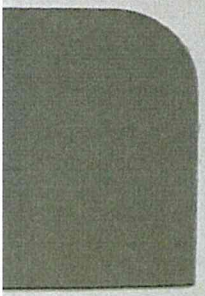
CPB PANEL (Available in 26 gauge* and 24 gauge**)

SSP - SUPER SHIELD PANEL

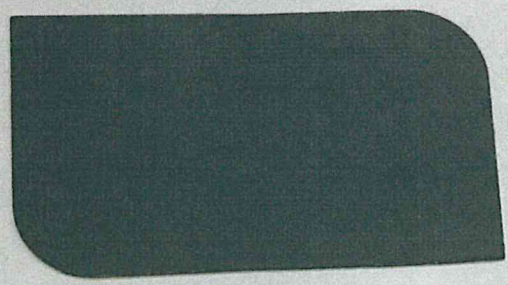
(Available in 29 gauge*** and 26 gauge)



COLUMN B

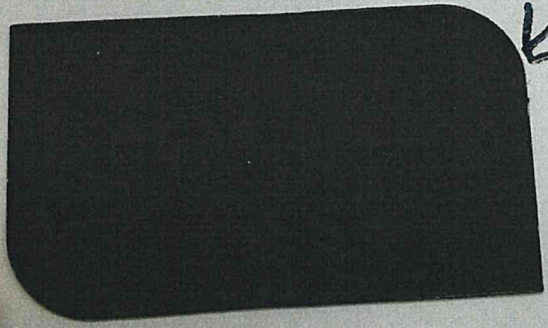


Pewter



Smokestack Gray

THIS
← color



Coco Brown

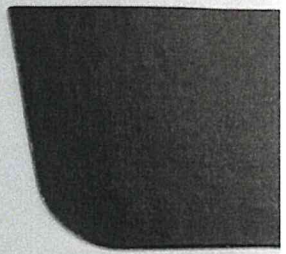
COLOR
OF
METAL
ROOF



Rustic Brown

Brown

COLUMN



Burg

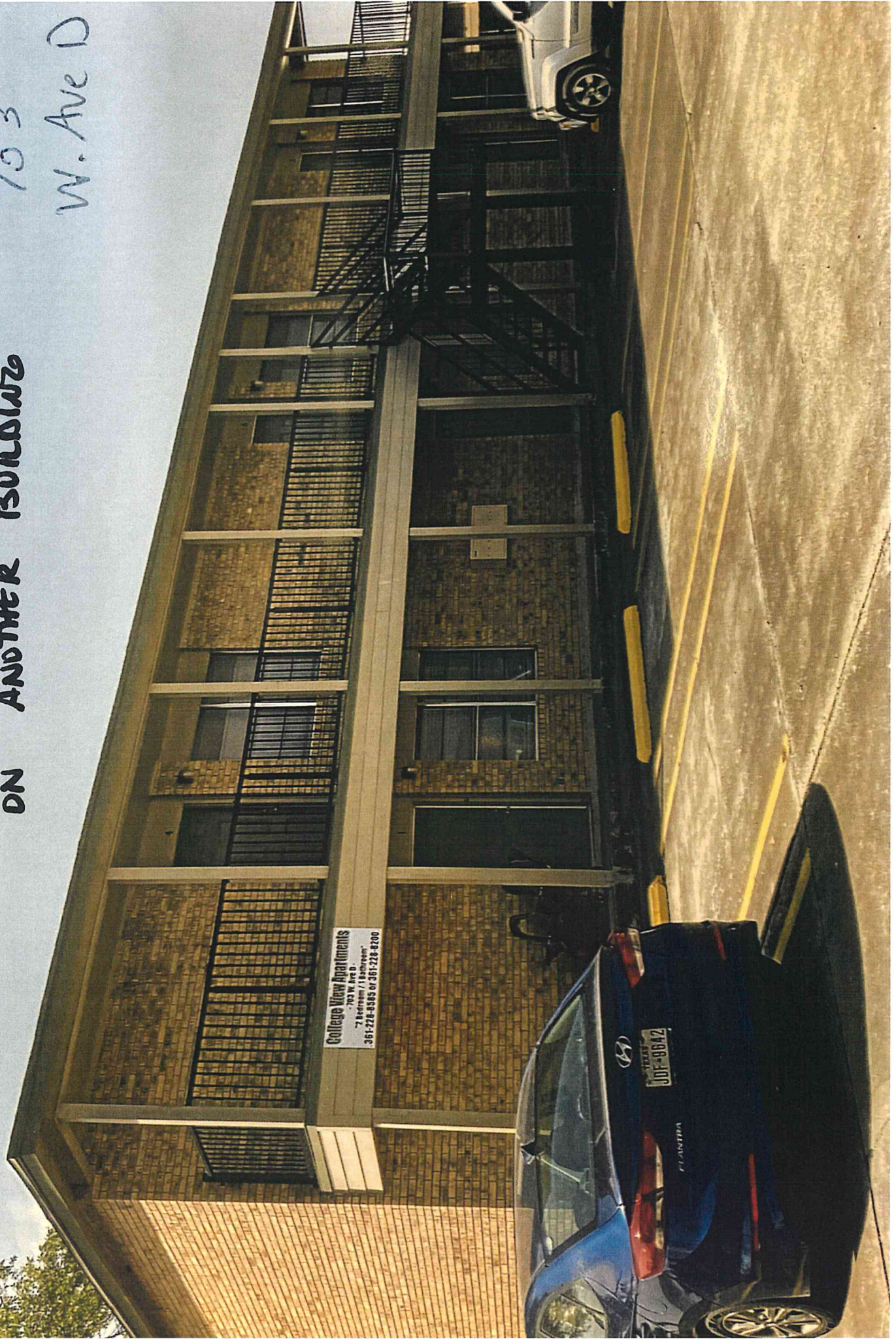


Co



EXAMPLES OF COLORS
ON ANOTHER BUILDING

703
W. Ave D



EXAMPLE OF COLOR
& DOOR TYPE ON ANOTHER BLDG

1



EXAMPLES OF
REPLACEMENTS
WINDOWS / DOORS



BACK APT. 1
EAST SIDE

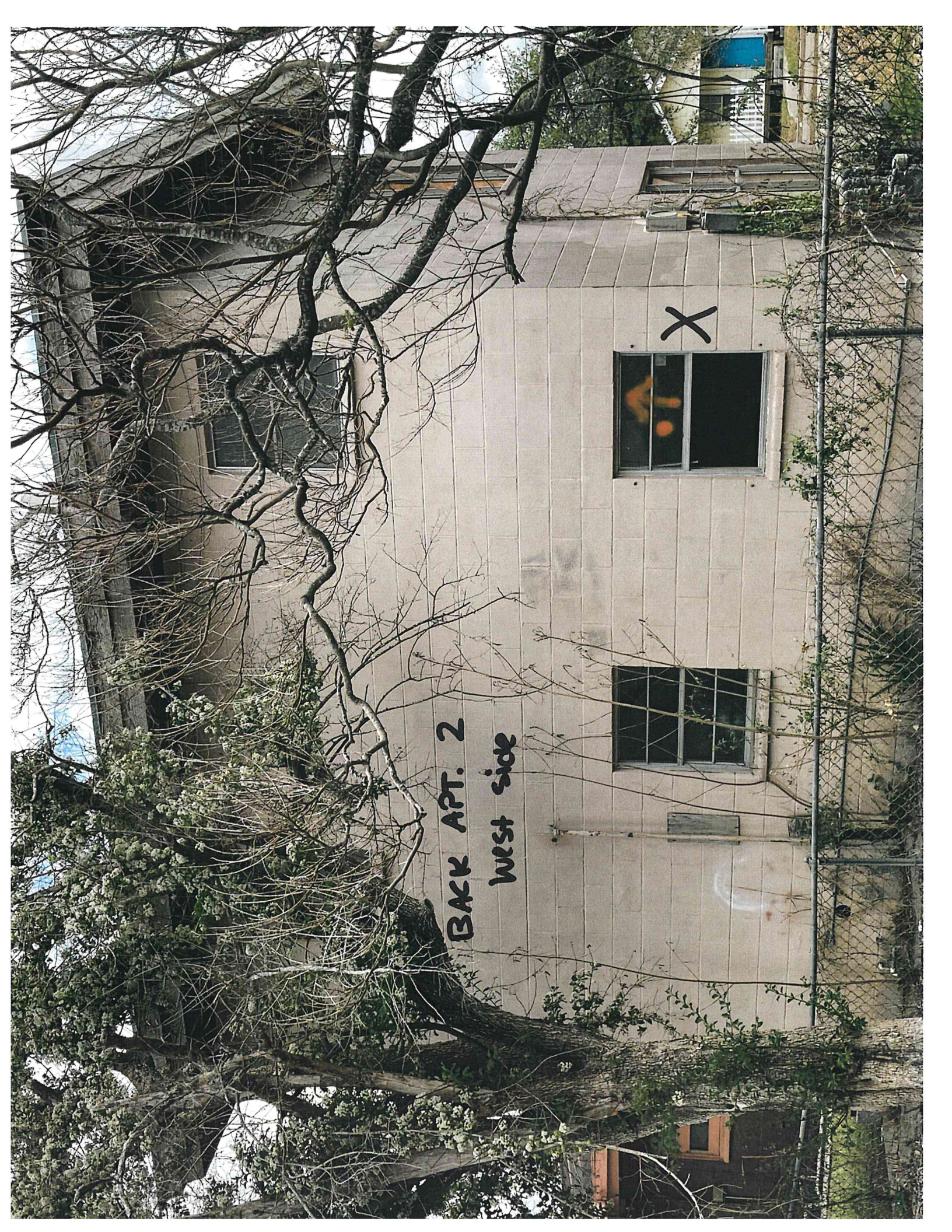
X WINDOWS TO
BE CLOSED IN



BACK APT. 2

West side

X



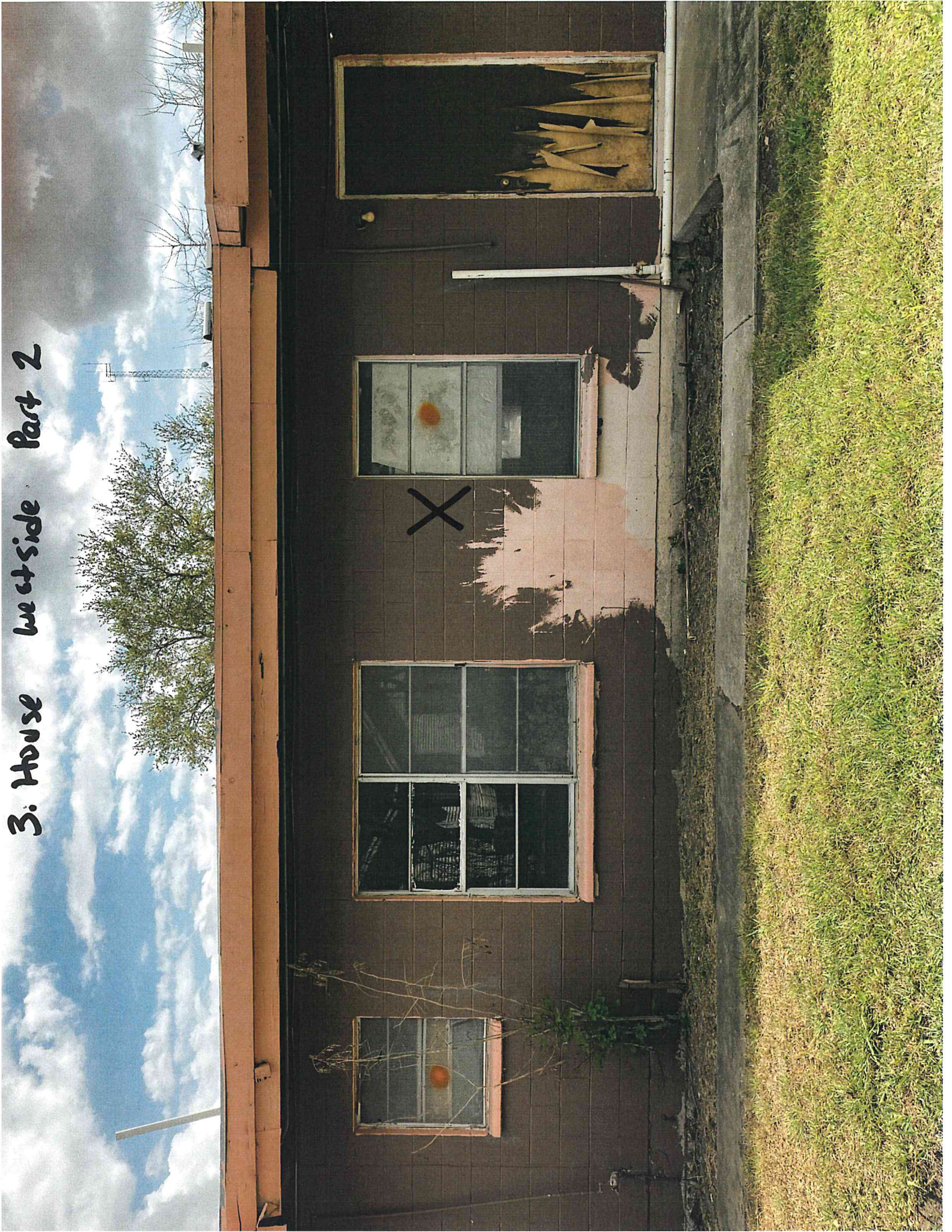
1. House Southside



2. House Westside Part 1



3. House Westside Part 2



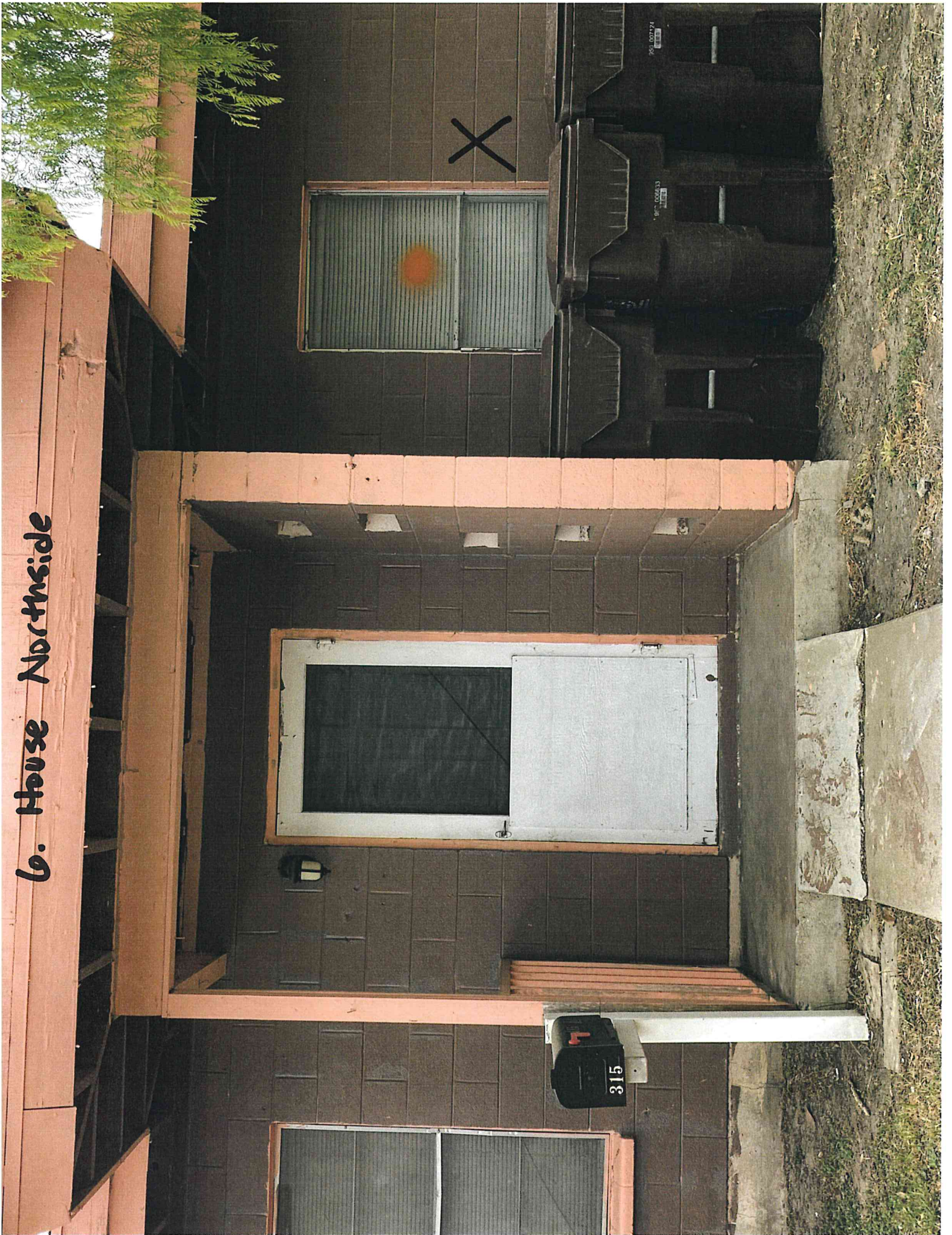
4. House West side Part 3



5. House Westside Part 4



6. House Northside



CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: April 21, 2021
TO: Historic Development Board
FROM: Brenda Joyas, CNU-A (Downtown Manager/HPO)
SUBJECT: Discuss and Consider Action on a remodel with new paint and windows for a residential home.
APPLICANT: Box R. E. Holdings, LLC, Owner
CONTRACTOR: De La Garza Construction

REQUEST

Discuss and Consider Action on a remodel with new paint and windows for a residential home.

EXHIBITS

Current picture of home, color swatches, window replacements.

BACKGROUND & PERTINENT DATA

Home is needing an update with more energy efficient windows and new paint, white home with dark navy blue trim.

STAFF REVIEW & RECOMMENDATION

Home is in good shape but could do with a fresh update and more efficient energy windows. Colors are agreeable to the neighborhood being the house will be white with a touch of dark blue color on the trim. Staff recommends approval.

BOARD REVIEW

Scope of Historical Development Board

In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.
- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.
- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.

- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Brenda Joyas, *CNU-A*
Downtown Manager/HPO

Historical Development Board Review Application

Applicant: Box RE Holdings, LLC / Justin Box
Address: 4602 Billy Rd, Corpus Christi, TX 78415
Contact: Cell: 904-625-2551 Home: _____
Email: box.justin@gmail.com

Property Owner: Box RE Holdings, LLC
Address: 4602 Billy Rd, Corpus Christi, TX 78415
Contact: Cell: 904-625-2551 Home: _____

Property Location and Description: 415 E Kenedy - ORIG TOWN, BLOCK 70, LOT 7, 8

Description of Work: Replace windows on sides and back of house and in garage apartment.
Sand and Paint exterior of house and garage building in matching shade of existing white.

Contractor: DeLaGarza Construction
Contact: Cell: 361-355-2141 Home: _____
Email: _____

- Documents Required:**
1. Sketch, Drawing, Plans, Site Plans, Mock-ups
 2. Photographs (Historic, Current, Surrounding Structures)
 3. Materials List or Samples
 4. Proof of Ownership
 5. Letter of Representation and Work Approval from Property Owner (If Applicable)

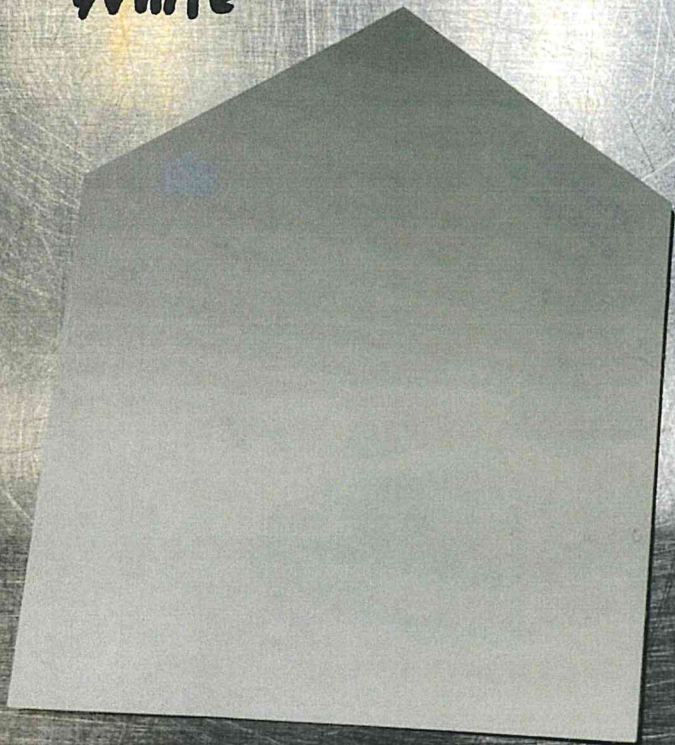
I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: Justin Box

Signature:  Date: 4/5/2021



House Pain
'white'



Thin
Paint



\$144.⁰⁰

☆☆☆☆☆ 0
[View Q&A](#)

\$136.⁸⁰

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[Learn how](#)

JELD-WEN V-2500 31.5-in x 59.5-in x 3-in Jamb Vinyl Egress New Construction White Single Hung Window

Item #1521699 Model #JW234700171

- Frames assembled using fusion-welded technology for greater strength and stability
- 1-1/4-in pre-punched integral nailing fin surrounds the full perimeter of the frame and helps make installations weathertight
- Built with high quality extruded vinyl that does not chip or peel and resists fading, mildew and condensation

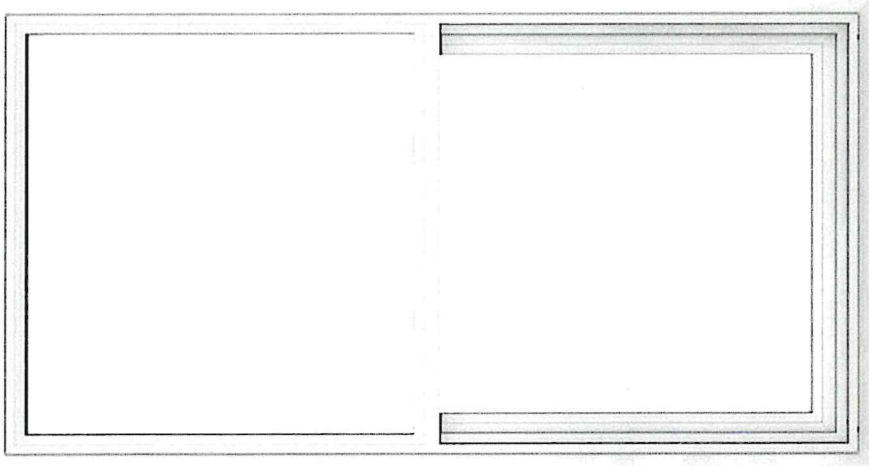
— +
Qty

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Free Store Pickup
18 Available at
[Kingsville Lowe's](#) ▾
Aisle 15 | Bay 5



Delivery
Available



CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: April 21, 2021
TO: Historic Development Board
FROM: Brenda Joyas, CNU-A (Downtown Manager/HPO)
SUBJECT: Discuss and Consider Action on resurfacing and painting exterior building and canopy on commercial structure.
APPLICANT: Derek McArthur, Alcork, LLC, Owner
CONTRACTOR: Carlos Ocampo and Randy's Roofing

REQUEST

Discuss and Consider Action on resurfacing and painting exterior building and canopy on commercial structure.

EXHIBITS

Outside building pictures of existing canopies, stucco colors, metal roof design, metal roof color.

BACKGROUND & PERTINENT DATA

Building is in disrepair and having leakage issues. Resurfacing would seal the building. The canopies are shredded from age and weather. Color on building is chipping.

STAFF REVIEW & RECOMMENDATION

The building is having leakage issues so with the resurfacing they will be able to solve that issue. The new color and canopy will renew the look of the building. Staff recommends approval.

BOARD REVIEW

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SIGNATURES



Brenda Joyas, *CNU-A*
Downtown Manager/HPO

 Kingsville Chiropractic
(360) 516-0751



 Kingsville Chiropractic
(361) 516-0751

WHIP THE HORSE

AW

310 CHINA WHITE

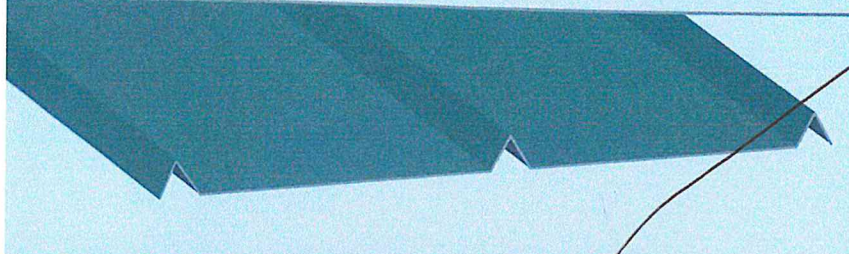
trim

104 DOVER SKY

walls

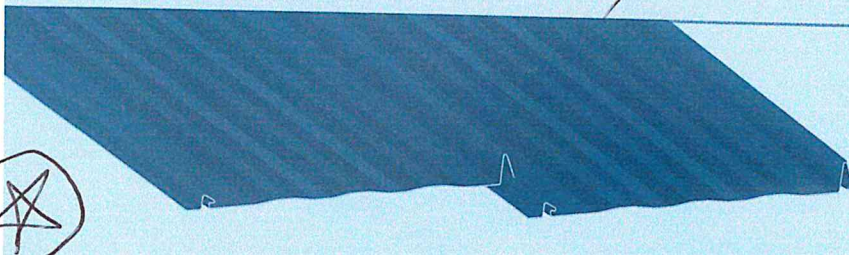
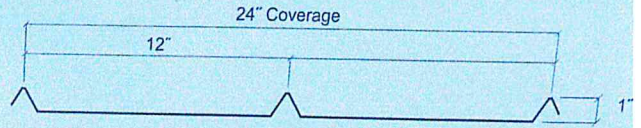
Stucco / Paint

PANEL OPTIONS



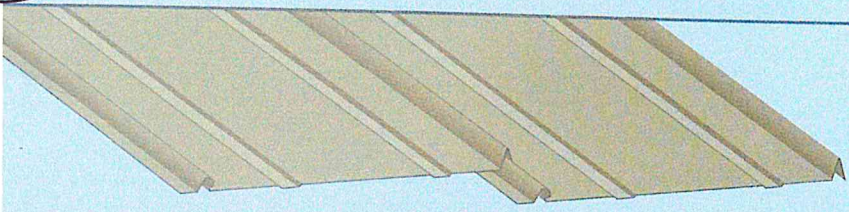
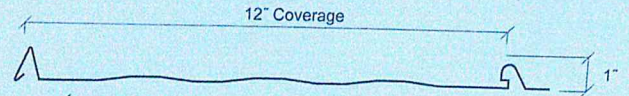
AP PANEL

(Available in 26 gauge)



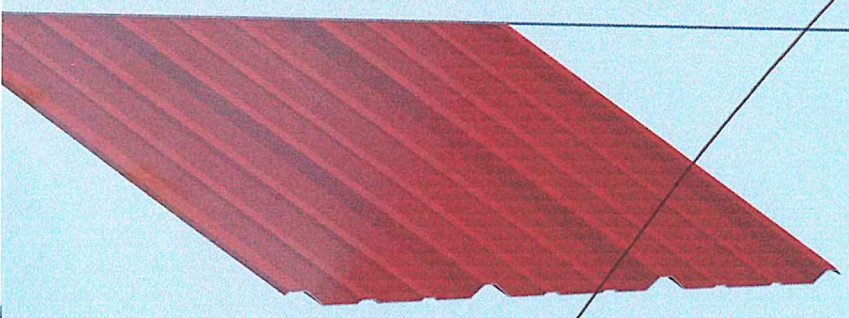
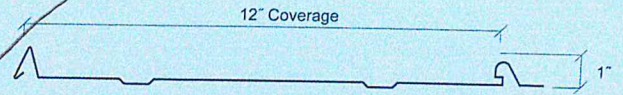
CFS PANEL

(Available in 26 gauge)

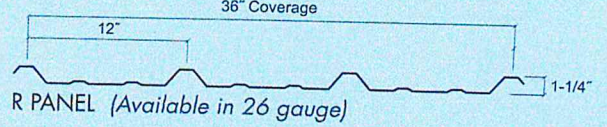


CF PANEL

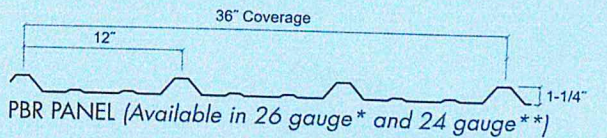
(Available in 26 gauge)



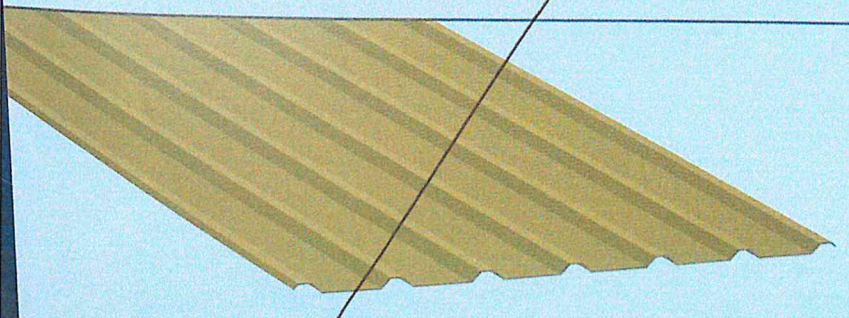
R & PBR PANEL



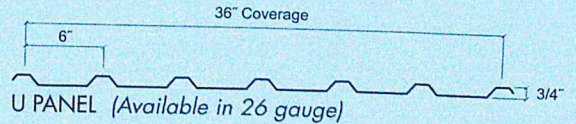
R PANEL (Available in 26 gauge)



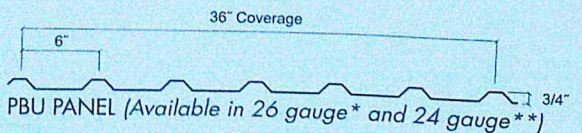
PBR PANEL (Available in 26 gauge* and 24 gauge**)



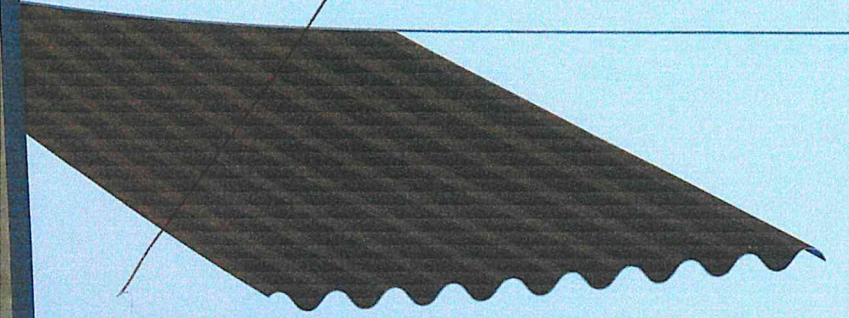
U & PBU PANEL



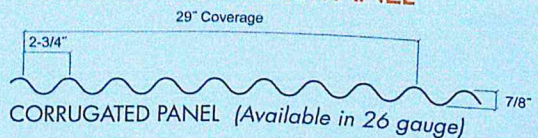
U PANEL (Available in 26 gauge)



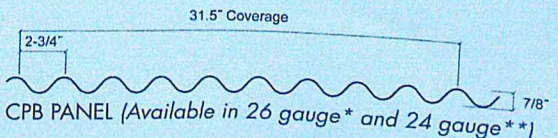
PBU PANEL (Available in 26 gauge* and 24 gauge**)



CORRUGATED & CPB PANEL



CORRUGATED PANEL (Available in 26 gauge)



CPB PANEL (Available in 26 gauge* and 24 gauge**)

SSP – SUPER SHIELD PANEL



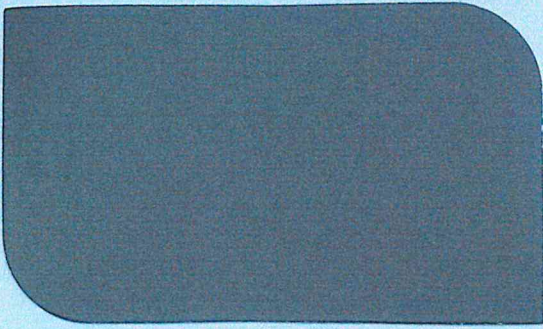
Galvalume Plus†



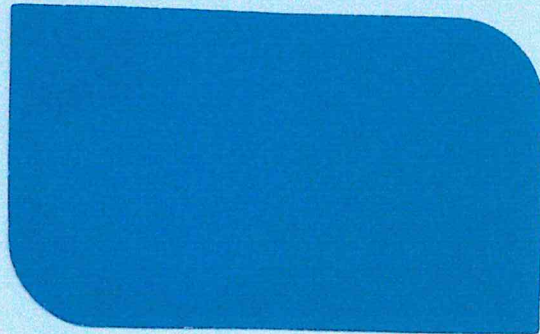
White



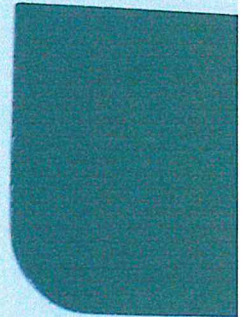
Bright



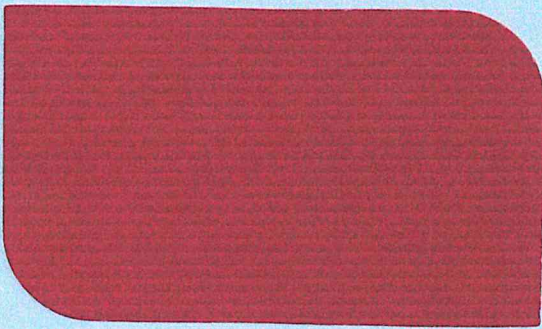
★ Panel Color
★ Charcoal



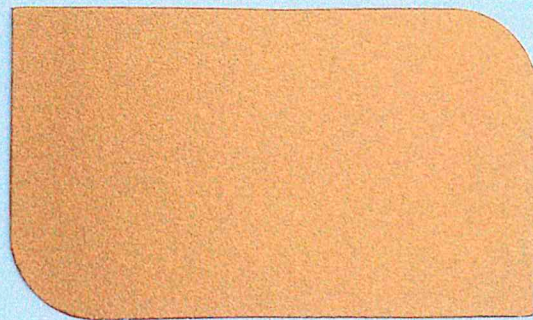
Deep Blue



Deep



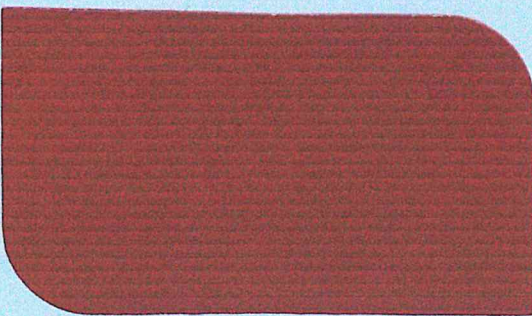
Patriot Red



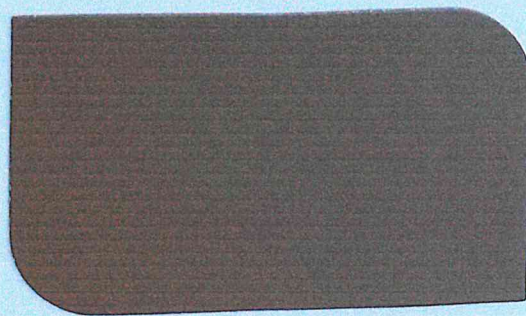
Bright Copper



To



Rustic Red



Saddle Leather Brown



Coco B

CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: April 21, 2021
TO: Historic Development Board
FROM: Brenda Joyas, CNU-A (Downtown Manager/HPO)
SUBJECT: Discuss and Consider Action on final rendering on remodel of 418 E. Kleberg Ave (Child's Bldg).
APPLICANT: Corner S Properties, LLC, Owner
CONTRACTOR: Benz and Klumb

REQUEST

Discuss and Consider Action on final rendering on remodel of 418 E. Kleberg Ave (Child's Bldg).

EXHIBITS

Child's building final presentation and architectural drawings.

BACKGROUND & PERTINENT DATA

The Child's building had lay vacant for many years and recently Corner S Properties that represents NAPA Auto Parts purchased the building. They came before the board in November with a preliminary plan for approval by the Board to see if their plan would be feasible. After initial approval pending a final approval, Corner S Properties, LL has now returned with a final rendering of the remodel.

The plans show how the western covered parking and the eastern car-port will be demolished, along with the wall covering the next door building east wall (corner building owner is content with this demolish since his building will stand out more). Most of the garage windows will be sealed by stucco for energy and safety reasons, and lamella roof will remain. Front canopy is completely rotten out but will be rebuilt to current standards. There will be two signs on the front of the building, a small on the top arch to resemble the historic sign as was on the Child's dealership and another lighted sign on the rebuilt canopy.

STAFF REVIEW & RECOMMENDATION

The building is in dire need of a tenant and remodel. The work done on the building will refresh not only the corner but the whole block and will leave the lamella roof open for everyone to see and admire.

BOARD REVIEW

Scope of Historical Development Board

In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

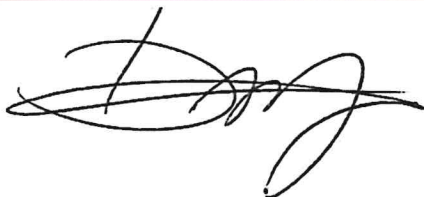
- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.

- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.
- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.
- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Brenda Joyas, CNU-A
Downtown Manager/HPO

Historical Development Board Review Application

Applicant: CORNER 5 Properties, LLC
Address: PO Box 60410 Corpus Christi TX 78466-0410
Contact: Cell: 361-549-7217 Home: same
Email: lee@TENAPA.COM

Property Owner: same
Address: _____
Contact: Cell: _____ Home: _____

Property Location and Description: 418 E Kleberg and 415 E Youkum Ave, Kingsville 78363
lots 1-29 inclusive, Block 41, original Townsite of Kingsville, Kleberg County, TX

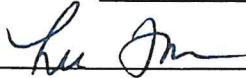
Description of Work: Submission of final plans for remodel

Contractor: BENZ & Klumb Jay Louder - Architect
Contact: Cell: 830-570-9665 Home: _____
Email: bcklumb@fastmail.com

- Documents Required:**
1. Sketch, Drawing, Plans, Site Plans, Mock-ups
 2. Photographs (Historic, Current, Surrounding Structures)
 3. Materials List or Samples
 4. Proof of Ownership
 5. Letter of Representation and Work Approval from Property Owner (If Applicable)

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: Lee Storkisck

Signature:  Date: March 19, 2021



**City of Kingsville and NAPA
Childs Building Final Presentation
April 21, 2021**

Introductions

- ◆ Lee Stockseth – President of Third Coast Distributing
- ◆ Ben Stockseth – District Manager of 6 Stores
- ◆ Jay Louden - Architect
- ◆ NAPA - \$8bn auto, ag, truck and industrial parts
 - 1000 company owned parts stores
 - 5000 Jobber owned stores by about 2700 independent owners
- ◆ Third Coast Distributing
 - Female-owned business
 - Operate 18 NAPA stores in Texas
 - Currently doing business in Kingsville

Meeting Goal

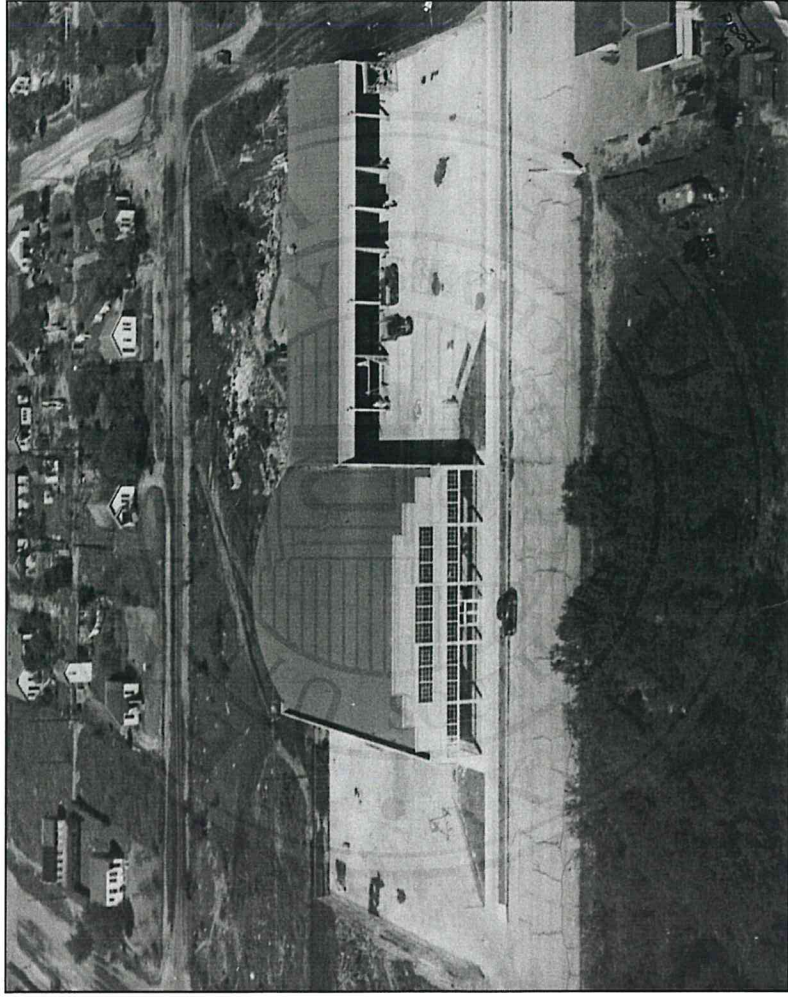
- ◆ Final approval to proceed with the project

Research Findings: Significance

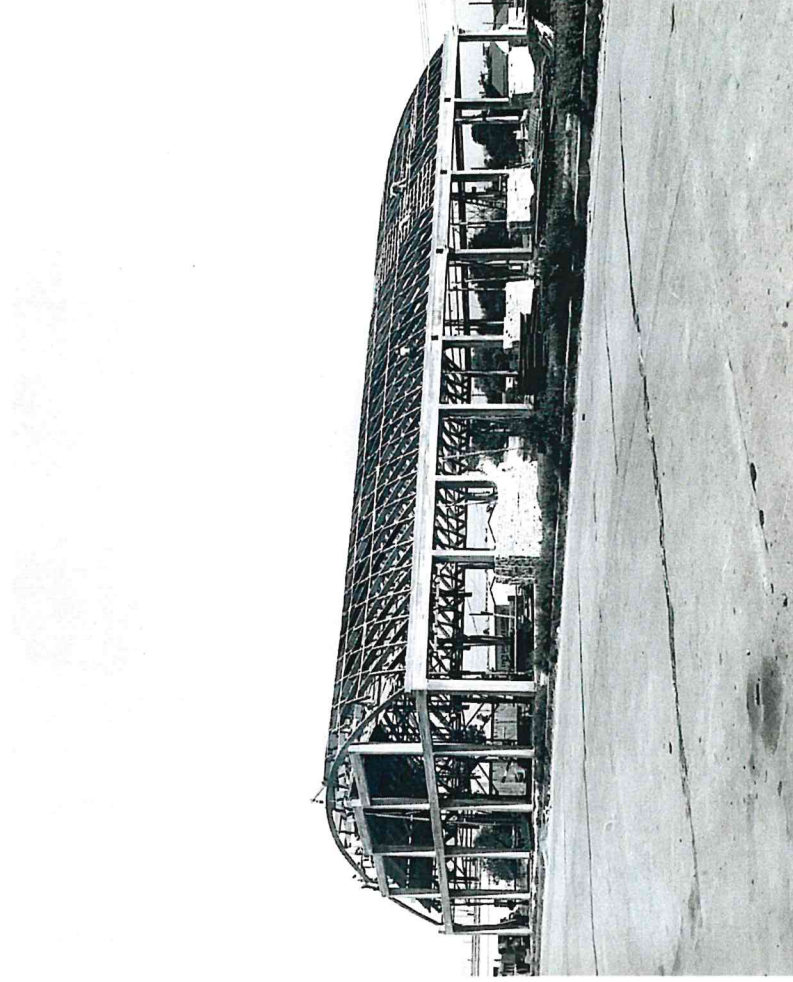


- ◆ Significant
 - Kingsville Downtown Historic District contributing structure
 - Preserve and enhance original property's contribution to the historic district
 - Lamella roofs of the primary structures are significant
 - Preserve and maintain as part of future project
- ◆ Secondary
 - West addition, service office, and east parking canopy are not original
 - Alterations or removal have been considered

Research Findings: Buildings



Construction photo circa 1945, Record A 1998-006.0025, South Texas Archives



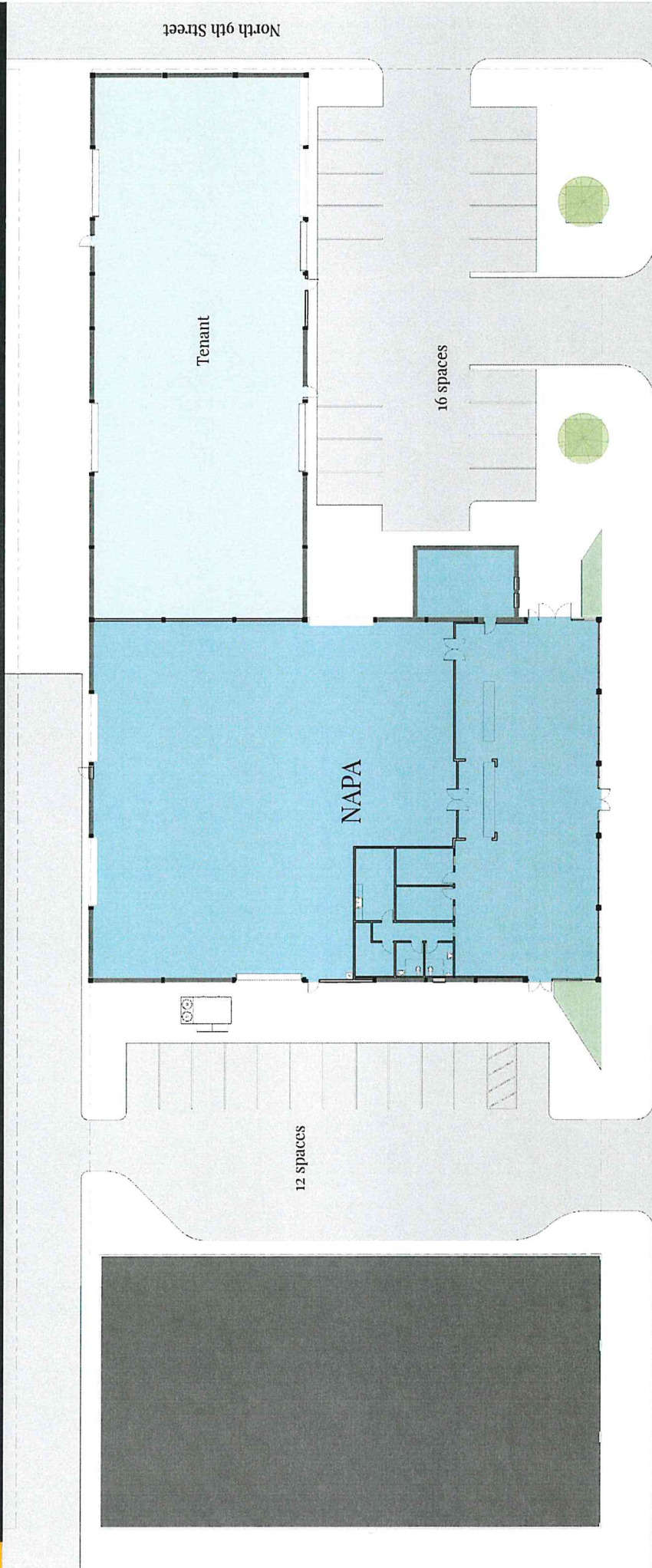
Construction photo circa 1944-1945, from the Childs family

Proposed Design



- ◆ Retain and preserve original 1945 building
- ◆ Retain existing showroom window openings, but use historic images to screen showroom and add historical perspective in two locations
- ◆ Add new signage inspired by original signage
- ◆ Retain existing canopy on front of building
- ◆ Remove parking cover on east side of building
- ◆ Remove non-historic west service annex
- ◆ Cover historic steel windows for protection
- ◆ Add overhead doors in several locations

Site Plan



This document is intended for informational purposes only. It is not a contract. Do not use for regulatory approval, permit, or construction.

East Kleberg Avenue

North 9th Street

Perspective from West



Remove non-historic west service annex

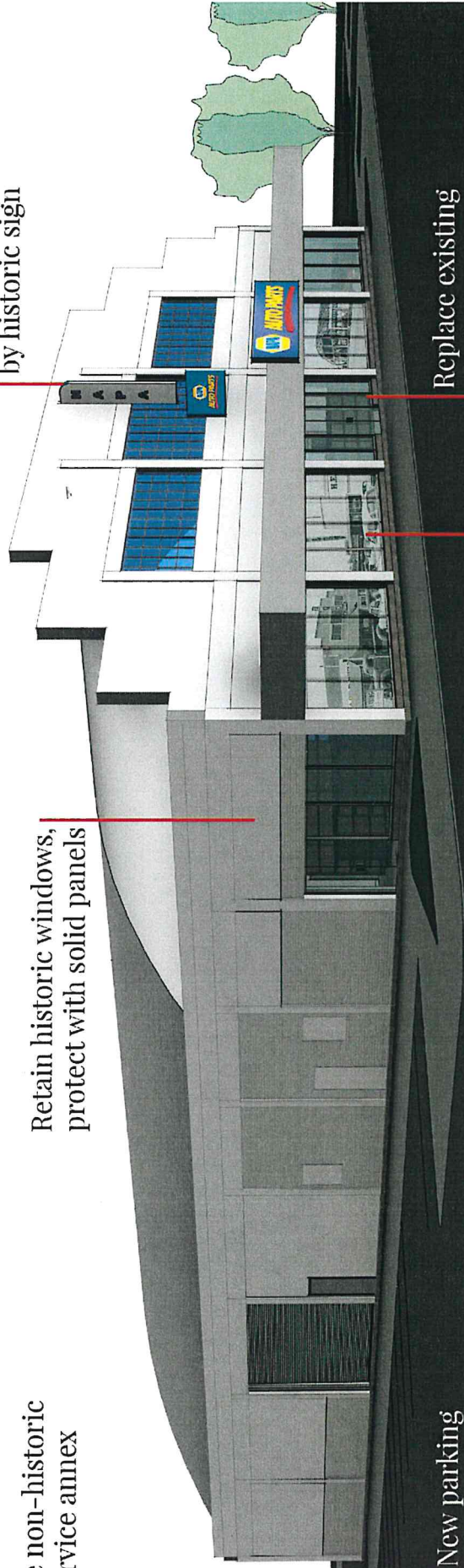
Retain historic windows, protect with solid panels

New sign inspired by historic sign

New parking

Historic photo on front windows

Replace existing windows; retain open street presence



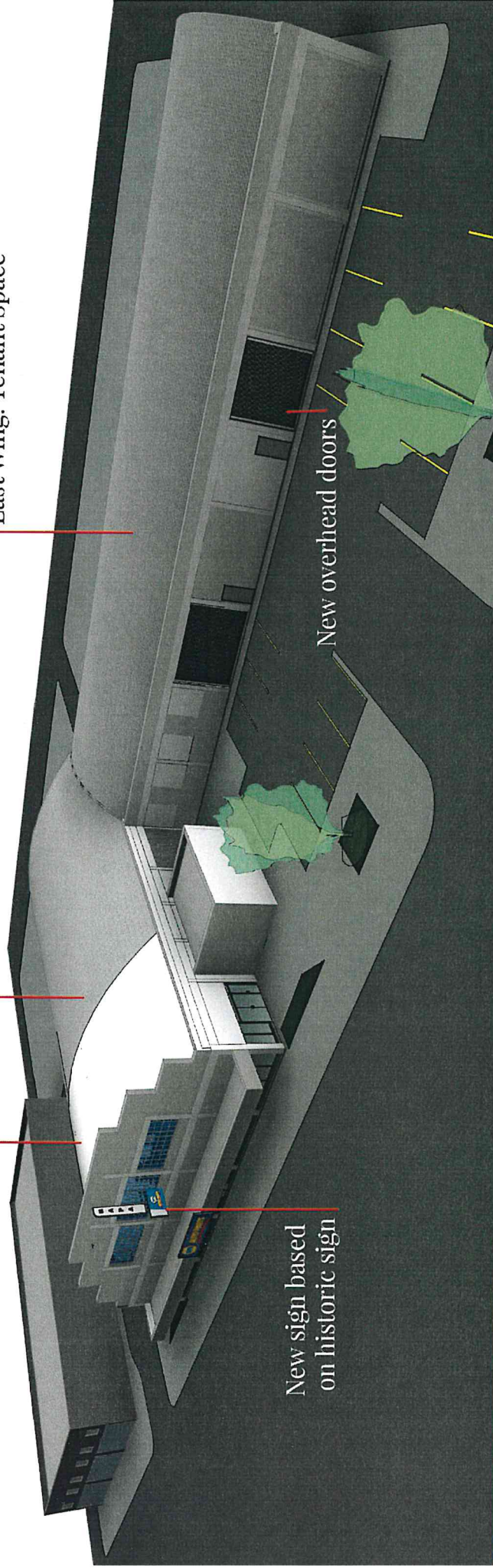
Perspective from East



Install new roofing
over conditioned space

Main Building: NAPA

East Wing: Tenant Space

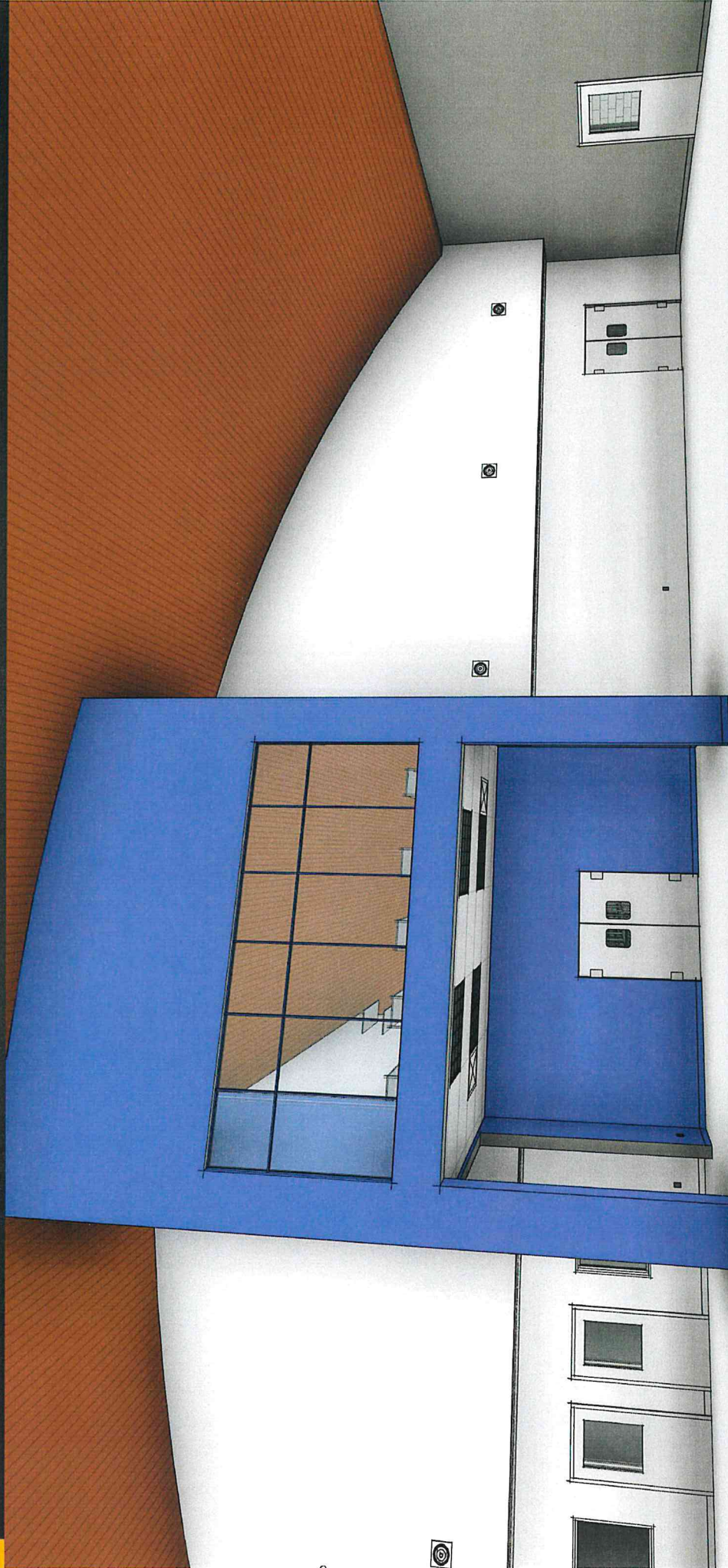


Perspective from North





Interior View



418 E Kleberg Renovations

Corner S Properties LLC

418 E Kleberg Ave.
Kingsville, TX

Issued for Construction 09 April 2021

Project Number 2010801

ARCHITECTURAL - INDEX OF DRAWINGS			
SHEET NO	SHEET TITLE	ISSUE DATE	
		ORIGINAL ISSUE	LAST REVISION
GENERAL			
S000	COVER	05 April 2021	05 April 2021
S001	GENERAL - CODE REVIEW AND LIFE SAFETY PLAN	09 April 2021	05 April 2021
ARCHITECTURAL			
A0101	EXTERIOR DEMOLITION PLAN AND ELEVATIONS	09 April 2021	05 April 2021
A0101	LEGEND, ABBREVIATION, AND GENERAL NOTES	09 April 2021	05 April 2021
A0101	GENERAL PLAN	09 April 2021	05 April 2021
A1101	FINISHED FLOOR PLANS AND RESTROOM ELEVATIONS	09 April 2021	05 April 2021
A2101	REFLECTED CEILING PLAN	09 April 2021	05 April 2021
A2101	PLANTING PLAN	09 April 2021	05 April 2021
A301	EXTERIOR ELEVATIONS	09 April 2021	05 April 2021
A302	INTERIOR ELEVATIONS	09 April 2021	05 April 2021
A3101	INTERIOR ELEVATIONS	09 April 2021	05 April 2021
A3201	BUILDING SECTIONS	09 April 2021	05 April 2021
A401	DETAILS	09 April 2021	05 April 2021
A4101	DOOR AND WINDOW SCHEDULES, ELEVATIONS, AND DETAILS	09 April 2021	05 April 2021
A4101	ACCESSORY MOUNTING HEIGHTS AND TAIL STANDARDS	09 April 2021	05 April 2021
A501	PERSPECTIVES	09 April 2021	05 April 2021
E0101	ELECTRICAL LAYOUT PLAN	09 April 2021	05 April 2021

Architecture



Work5hop

www.work5hop.com
info@work5hop.com
123 parland place, suite 100
san antonio tx 78209



CHEMICAL STORAGE LISTING

COMMON NAME	CHEMICAL NAME	CAS #	FORM	QUANTITY	UNITS	HAZ. CLASSES
Paint Thinner	Mineral spirits	8052-41-3	L	2	GAL	FLA 1B TOX
Fuel Additive	Isopropanol	67-63-0	L	5	GAL	FLA 1B TOX
Washbasin Washer	Methanol	67-56-1	L	45	GAL	FLA 1B TOX, IRR
Gasket Sealer	Isopropanol/Ketone	67-63-0	L	2	GAL	FLA 1B TOX, IRR
Acetone	Acetone	67-64-1	L	1	GAL	FLA 1B TOX, IRR
Automotive Parts	Benzene, methyl-Benzene, dimethyl-	108-88-3	L	4	GAL	FLA 1B TOX, IRR
Solvent Cleaner	Petroleum distillates	64742-65-0	L	5	GAL	FLA 1B TOX, IRR
Filter/Platy	Solvent	1225-25-7	L	6	GAL	FLA 1B TOX, IRR
Fuel Conditioner	Aliphatic hydrocarbons	64742-47-6	L	18	GAL	DOM II, IRR
WD-40	Aliphatic hydrocarbons/Mineral spirits	64742-47-6	L	8	GAL	DOM II, IRR
Solvent Cleaner	Mineral spirits	8052-41-3	L	10	GAL	DOM II, IRR
Engine Flush	Kerosene Subvert Naphtala	8038-30-6	L	6	GAL	DOM II, IRR
Waxes & Polishes	Petroleum distillate, Petroleum Spirits	50045-37-9	L	27	GAL	DOM II, IRR
Hand Cleaners	Petroleum distillate/Mineral oil	64742-65-0	L	10	GAL	DOM II, IRR
Latexes	Mineral Spirits	8052-41-3	L	2	GAL	DOM II, IRR
Carburetor Cleaner	Aliphatic hydrocarbons	64742-47-6	L	7	GAL	DOM II, IRR
Detergent Compound	Kerosene	8038-30-6	L	11	GAL	DOM II, IRR
Marvel Mystery Oil	Petroleum distillate/Aliphatic hydrocarbons	64742-47-6	L	11	GAL	DOM II, IRR
Waxes & Polishes	Petroleum distillate, petroleum Spirits	50045-37-9	L	7	GAL	DOM II, IRR
Hand Cleaner	Petroleum distillate/Mineral oil	64742-65-0	L	15	GAL	DOM II, IRR
Antifreeze	Ethylene glycol	107-21-1	L	48	GAL	DOM II, IRR, TOX, IRR
Adhesives	Diethylene glycol	25863-47-5	L	3	GAL	DOM II, IRR, TOX, IRR
ATP Fluid	Petroleum distillate	64742-65-0	L	3	GAL	DOM II, IRR
Gene Oil	Petroleum distillate	64742-65-0	L	24	GAL	DOM II, IRR
Motor Oil	Petroleum distillate	64742-65-0	L	300	GAL	DOM II, IRR
P. Shining Fluid	Petroleum distillate	64742-65-0	L	20	GAL	DOM II, IRR
Oil Treatments	Aliphatic hydrocarbon/Petroleum distillate	50099-55-0	L	20	GAL	DOM II, IRR
Composites	Diethylene glycol	25863-47-5	L	3	GAL	DOM II, IRR, TOX, IRR
Grease	Petroleum distillate	64742-65-0	L	5	GAL	DOM II, IRR
Paints (alkal)	Ethanol, 2-butanol	112-34-6	L	14	GAL	DOM II, IRR
Sealant	2-Propanol/Ketone	67-63-0	L	8	GAL	DOM II, IRR
Waxes & Polishes	Petroleum distillate, petroleum spirits	50045-37-9	L	11	GAL	DOM II, IRR
Spray Paint	Toluene/Acetone	108-88-3	A	445	LBS	Level III Aerosol
Brake Cleaner	Acetone	67-64-1	A	70	LBS	Level III Aerosol
Carburetor Cleaner	Acetone	67-64-1	A	70	LBS	Level III Aerosol
Starter Fluid	Solvent/naphtha/Ethyl ether	64742-65-0	A	75	LBS	Level III Aerosol
Disinfectant	Aliphatic hydrocarb- Petroleum naphtha	64742-65-0	A	260	LBS	Level III Aerosol
Lubricants	Petroleum distillate	64742-65-0	A	60	LBS	Level III Aerosol
Penetrating Oil	Solvent/naphtha	64742-65-0	A	65	LBS	Level III Aerosol
Sealants	2-Propanol/Ketone	67-63-0	A	20	LBS	Level III Aerosol
Adhesives	Acetone/Propane, 2-methyl-	67-64-1	A	10	LBS	Level III Aerosol
Sulfuric acid	Sulfuric acid	7664-93-9	L	50	GAL	COR
Caulic Clean Compound	Potassium hydroxide	1310-58-3	L	8	GAL	COR
Chemicals	Benzene/sulfonic acid, sodium salt	25155-39-0	L	8	GAL	COR

(1) Per 2018 IBC Table 414.2.5(1) and 414.2.5(2)
 (2) Includes conversion of pounds of product to gallons by using factor of 10 pounds per gallon

GENERAL DESCRIPTION

PROJECT NAME	418 E KLEBERG RENOVATION		
LOCATION	KINGSVILLE, TEXAS		
ADDITION	CITY OF KINGSVILLE		
APPLICABLE CODES	TMSA ACCESSIBILITY STANDARDS, 2012 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL MECHANICAL CODE, 2018 INTERNATIONAL PLUMBING CODE, 2018 NATIONAL ELECTRIC CODE, 2017 INTERNATIONAL FIRE CODE, 2018 INTERNATIONAL FUEL GAS CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, 2018		
ISIRC CATEGORY	A	CODE REFERENCE	
WIND LOAD CATEGORY	C	ASCE 7 - 10	
USE AND OCCUPANCY CLASSIFICATION	MERCANTILE (N, BUSINESS (B), STORAGE (S))	SEC. 509	
BUILDING HEIGHTS AND AREAS			
NEW CONSTRUCTION, 1 STORY	ALLOWABLE PER FLOOR	PROVIDED	CODE REFERENCE (IBC)
CONSTRUCTION TYPE	BB	BB	TEL. 503
BUILDING HEIGHT	75, 3 STORY	32, 1 STORY	TEL. 504.3, TEL. 504.4
BUILDING AREA PER FLOOR	50,200 SQF	21,488 SQF	TEL. 506.2
TOTAL BUILDING AREA	50,200 SQF	21,488 SQF	SEC. 506.2
MISCELLANEOUS REQUIREMENTS			
FIRE-RESISTIVE RATING REQUIREMENTS FOR TYPE III-B BUILDING			
FLOOR/ROOF	FLOOR - FLOOR, BEAM, AND JOIST	FIRE RESISTANCE	
		HOURS	CODE REFERENCE (IBC)
STRUCTURAL FRAME	ROOF - FLOOR, BEAM, AND JOIST	FIRE RESISTANCE	
		HOURS	CODE REFERENCE (IBC)
WALLS	EXTERIOR BEARING	2	TEL. 601
	INTERIOR BEARING	0	TEL. 601
WALLS	EXTERIOR NON-BEARING	0	TEL. 602
	INTERIOR NON-BEARING	0	TEL. 601
WALLS	EXIT STAIRS AND EXIT VESTIBULES	1	SEC. 1023.2
	CONDOIR WALLS	0	TEL. 1020.1
WALLS	ELEVATOR SHAFTS	1	SEC. 713.4
	OTHER SHAFT ENCLOSURES	1	SEC. 713.4
OCCUPANCY SEPARATION			
OCCUPANCY	REQUIRED SEPARATION (HOURS)	CODE REFERENCE (IBC)	
MERCANTILE (N) TO BUSINESS (B)	NONE	TABLE 508.4	
MERCANTILE (N) TO STORAGE (S)	NONE	TABLE 508.4	
BUSINESS (B) TO STORAGE (S)	NONE	TABLE 508.4	
OTHER REQUIRED SEPARATIONS			
COMBUSTIBLE MATERIALS IN GROUP M AND GROUP S, HAZARDOUS AREAS BELOW TO BE SEPARATED INTO CONTROL AREAS BY ONE-HOUR RATED WALLS			
CLASS IA	30 GALLONS	TEL. 414.2.5(2)	
CLASS B, IC, E, AND IMA	1,000 GALLONS	TEL. 414.2.5(2)	
CLASS BB	13,200 GALLONS	TEL. 414.2.5(2)	
INTERIOR FINISH - MAXIMUM FLAME SPREAD			
OCCUPANCY	EXIT AND EXIT ENCLOSURES	CONDUITS	ROOMS AND ENCLOSED SPACES
M, B	A	B	C
S	B	B	C
FLOOR COVERINGS ARE LIMITED TO CLASS I AND CLASS II, AS DETERMINED BY NFPA 253. SEC. 804			
FIRE PROTECTION SYSTEMS			
FIRE PROTECTION SYSTEM	AUTOMATIC SPRINKLERS	NOT REQUIRED SEC. 903.2	
	STANDPipes	NOT REQUIRED SEC. 905.3	
FIRE PROTECTION SYSTEM	PORTABLE FIRE EXTINGUISHER, AREA PER UNIT OF A	1 PER 3,000 SF / 30 PSYAL SEC. 906.3	
	DETECTION AND ALARM SYSTEM	NOT REQUIRED SEC. 907.2	
ACCESSIBILITY REQUIREMENTS	ICC CHAPTER 11, ICC A117.1		
ACCESSIBILITY REQUIREMENTS	TMSA ACCESSIBILITY STANDARDS (TAS)		

EXIT REQUIREMENTS

MINIMUM EXIT DOOR WIDTH	36" (37" CLEAR)		IBC	CODE REFERENCE
MINIMUM EXIT DOOR HEIGHT	48"		IBC	SEC. 1010.1.1
MINIMUM DOOR HEIGHT	80"		IBC	SEC. 1010.1.1
DOORS OPENING IN TRAVEL DIRECTION WHEN SERVING OCCUPANT LOAD OF	30		IBC	SEC. 1010.1.2
DOORS OPENING IN TRAVEL DIRECTION WHEN SERVING OCCUPANT LOAD OF	30		IBC	SEC. 1010.1.2
MINIMUM NUMBER OF EXIT DOORWAYS REQUIRED	1/2" MAX		IBC	SEC. 1010.1.7
OCCUPANT	MAX OCC. LOAD	MAX COMMON PATH OF TRAVEL		
M	45	75'	TEL. 1006.3.1	
B	45	100' + 30 OCCUPANTS; 75' + 20 OCCUPANTS	TEL. 1006.3.1	
S	20	100' + 30 OCCUPANTS; 75' + 20 OCCUPANTS	TEL. 1006.3.1	
TWO EXIT FROM ANY SPACE SHALL BE PROVIDED WHERE THE DESIGN OCCUPANT LOAD OR THE COMMON PATH OF EGRESS TRAVEL DISTANCE EXCEEDS THE VALUES LISTED IN TABLE 1006.3.				
(1) AT LEAST ONE ENTRANCE OF SUFFICIENT AREA IS REQUIRED FOR ELECTRICAL ROOMS.				
(2) FOR EQUIPMENT RATES 1200 AMP, OR MORE AND OVER 4 FEET WHICH CONTAINS OVERCURRENT SWITCHING OR CONTROL DEVICES, ONE ENTRANCE TO AND EGRESS FROM THE WORKING AREA MUST BE AT LEAST 24 INCHES WIDE AND 6'-1/2 FEET TALL AT EACH END OF THE WORKING SPACE, UNLESS UNOBSTRUCTED EGRESS IS PROVIDED OR WHERE THE DEPTH OF THE WORKING SPACE IS TWICE THAT REQUIRED BY NEC 110.25(A)(1).				
(3) ELECTRICAL ROOMS CONTAINING EQUIPMENT RATED AT 800 AMP OR MORE MUST HAVE OVERHEAD OPENING EXIT DOORS WITH LATCHED PANIC HARDWARE WITHIN 25 FEET FROM THE NEAREST EDGE OF THE WORKING SPACE.				
SEPARATION DISTANCE OF DOORS TO BE NO LESS THAN 1/2 THE LENGTH OF THE HALL OVERALL DIMENSION OF THE ROOM SEC. 1007				
CONDUITS				
MINIMUM WIDTH (30 OCCUPANTS OR LESS)				
MINIMUM WIDTH (MORE THAN 30 OCCUPANTS)				
MINIMUM HEIGHT (MEANS OF EGRESS)				
FIRE RESISTANCE RATING				
SAFES				
MINIMUM WIDTH (MEANS OF EGRESS)				
MINIMUM HEIGHT				
HANDICAPPED				
OTHER				
EXIT CAPACITY				
STAIRS				
HORIZONTAL				
VERTICAL				
OCCUPANCY FACTORS				
OCCUPANT LOAD FACTOR (SQ. FT. PER PERSON)	MERCANTILE	60 GROSS SQ. FT. / PERSON	TEL. 1004.1.2	
STORAGE, STOCK, SHIPPING AREAS		300 GROSS SQ. FT. / PERSON	TEL. 1004.1.2	
BLENDERS, OFFICE AREAS		150 GROSS SQ. FT. / PERSON	TEL. 1004.1.2	
MINIMUM NUMBER OF EXIT PER PERSON	2 FARE WHEN POPULATION	1-500	TEL. 1006.3	
HALLWAY TRAVEL DISTANCE	OCCUPANCY M, B	200'	TEL. 1017.2	
HALLWAY COMMON PATH	OCCUPANCY B	75'	TEL. 1004.2.1	
HALLWAY DEAD-END CORRIDOR	OCCUPANCY M	* WITHOUT AUTOMATIC SPRINKLER SYSTEM	SEC. 1022.4	
EMERGENCY SERVICES				
EXIT AND EMERGENCY LIGHTING	EXIT SIGNS	AN ARROW INDICATING THE DIRECTION OF TRAVEL TO THE NEAREST EXIT SHALL BE PLACED IN EVERY LOCATION WHERE THE DIRECTION OF TRAVEL IS NOT IMMEDIATELY APPARENT. NO MORE THAN 100 FT. OR LESS IN ANY CASE ACCESS CORRIDOR OR PASSAGEWAY. SIGN SHALL BE ILLUMINATED BY 5 F.C. AND SHALL BE ON EMERGENCY POWER. SIGN SHALL BE ILLUMINATED BY 5 F.C. AND SHALL BE ON EMERGENCY POWER.		
EMERGENCY EXIT ILLUMINATION				
MIN 1 F.C. AT WALK SURFACE				
PLUMBING SYSTEMS				
TOTAL OCCUPANTS	105	MALE / FEMALE	58/53	TEL. 902.1
OCCUPANCY	WATER CLOSET	LAUNDRY	DRINKING FOUNTAIN	SERVICE SINK
MERCANTILE	1-500	1-750	1-100	1
TOTAL REQUIRED	2 (one male, one female)	2 (one male, one female)	2	1
PROVIDED	2	2	2	1

2 ARCHITECTURAL - LIFE SAFETY PLAN - OFFICE AREA ENLARGED
SCALE: 1/4" = 1'-0"

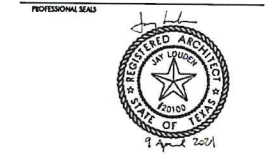
1 ARCHITECTURAL - LIFE SAFETY PLAN
SCALE: 1/16" = 1'-0"



Comer S Properties LLC
418 E Kleberg Renovations
 418 E Kleberg Ave.
 Kingsville, TX

LIFE SAFETY PLAN LEGEND

SYMBOL	DESCRIPTION
1000CC	OCC PER GROUP
B	USE GROUP
5,000	OSF/SP
60	OCC LOAD
100'	EGRESS PATH WITH LENGTH
75	DOOR/STAIR
30	OCCUPANT LOAD
30	PROVIDED EGRESS WIDTH
30	REQUIRED EGRESS WIDTH
EXIT LIGHT	EXIT LIGHT
EXIT LIGHT WITH DIRECTIONAL ARROW	EXIT LIGHT WITH DIRECTIONAL ARROW
F	FIRE ALARM PULL STATION
F	FIRE ALARM ANNUNCIATOR
FEC	FIRE EXTINGUISHER CABINET OR WALL MOUNTED EXTINGUISHER
S	SMOKE DETECTOR
SH	SHELL SPACE

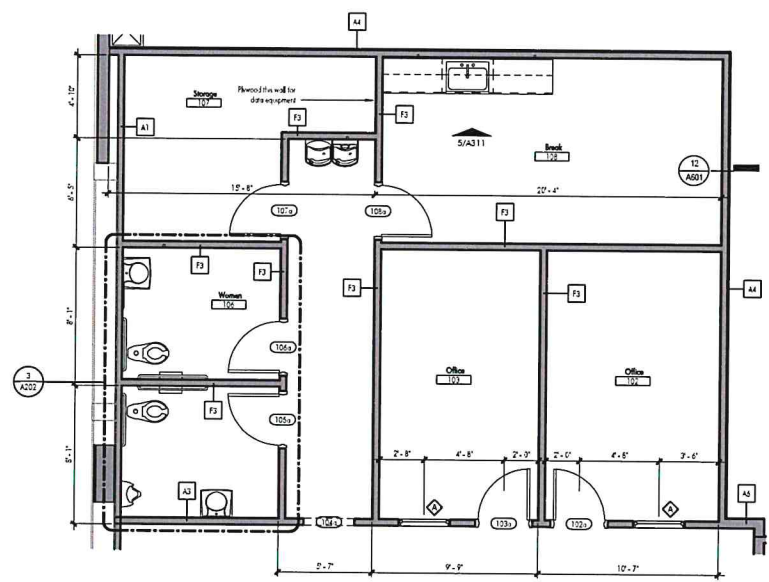


REVISION HISTORY

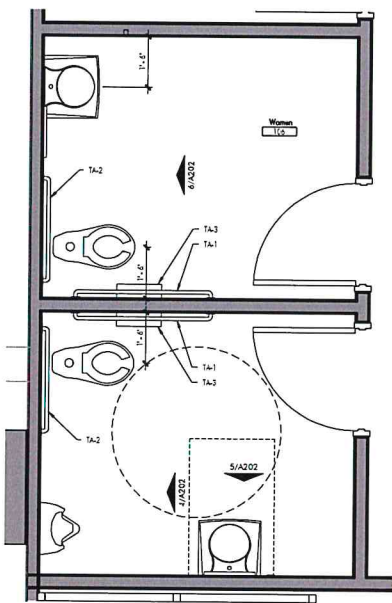
REVISION	DESCRIPTION	DATE

GENERAL - CODE REVIEW AND LIFE SAFETY PLAN

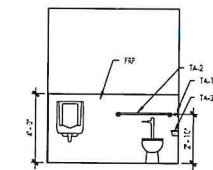
DRAWN BY: JML
 PROJECT NUMBER: 2010801
 ORIGINAL ISSUE: 09 April 2021
 CHECKED BY: JML
 PROJECT ABBREVIATION: 2010801
 DATE: 09 April 2021



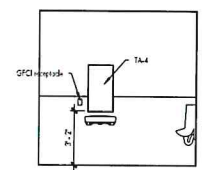
2 ENLARGED PLAN
SCALE: 1/4" = 1'-0"



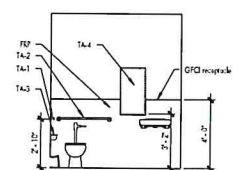
3 RESTROOMS ENLARGED PLAN
SCALE: 1/2" = 1'-0"



4 MEN'S RESTROOM WEST
SCALE: 1/4" = 1'-0"

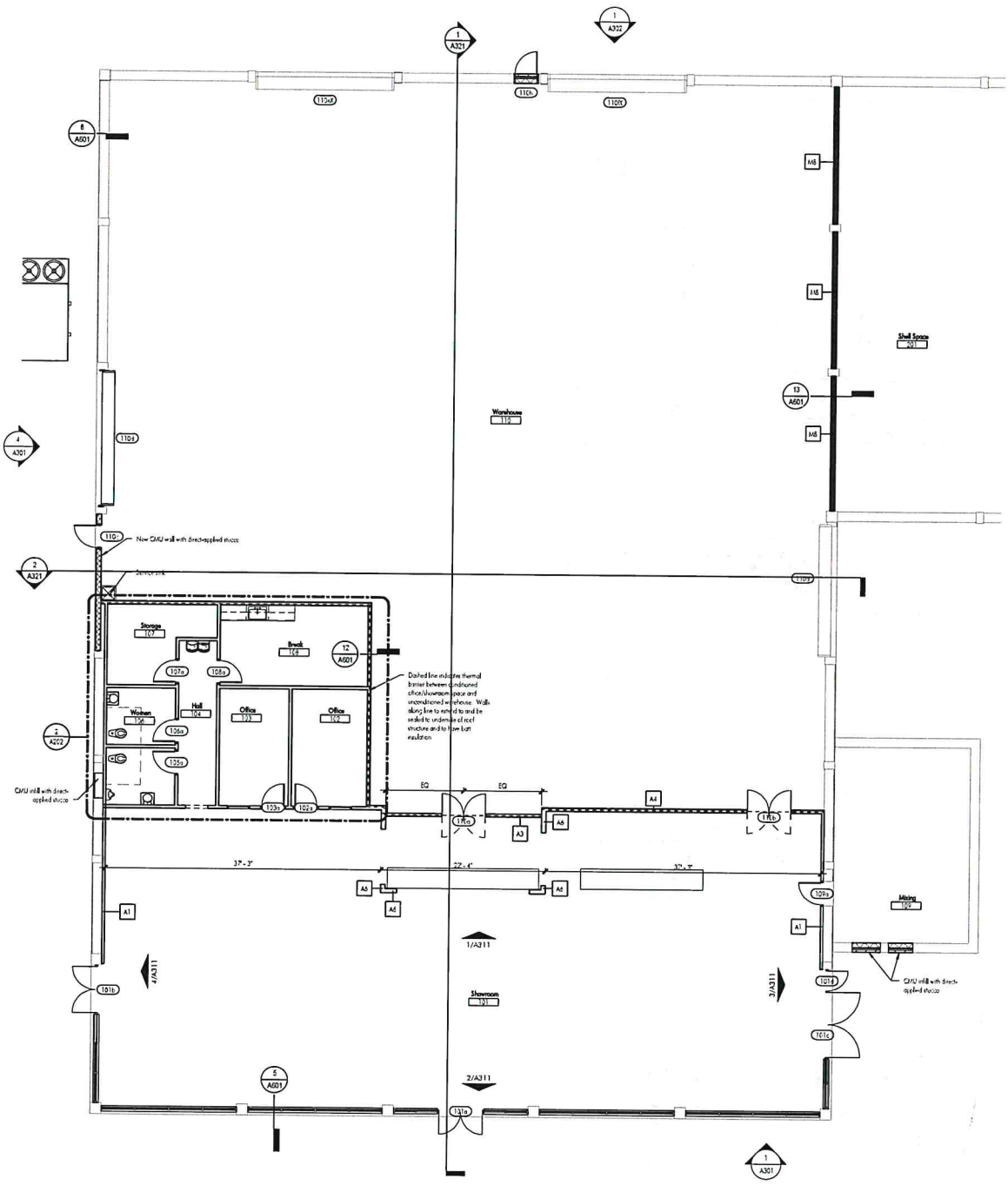


5 MEN'S RESTROOM SOUTH
SCALE: 1/4" = 1'-0"



6 WOMEN'S RESTROOM WEST
SCALE: 1/4" = 1'-0"

Ta-1 48" GRAB BAR
Ta-2 36" GRAB BAR
Ta-3 TICKET PAPER DEFENDER
Ta-4 HURDLE
NOTE: GENERAL DIMENSIONING MOUNTING HEIGHTS NOTED ON PLAN. REFER TO A651 FOR ADDITIONAL DIMENSIONAL REQUIREMENTS.



1 LEVEL 01 - NAPA SPACE
SCALE: 1/8" = 1'-0"

INTERIORS - ROOM FINISH SCHEDULE					
ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	COMMENTS
101	Showroom	Epoxy	Rubber	PTD	
102	Office		Rubber	PTD	
103	Office		Rubber	PTD	
104	Hall	Epoxy	Rubber	PTD	
105	Men		Rubber	PTD	
106	Women		Rubber	PTD	
107	Storage		Rubber	PTD	
108	Break	VCI	Rubber	PTD	
109	Mail	Epoxy	Rubber	PTD	
110	Warehouse	Epoxy	None	PTD	
211	Tool Storage	Epoxy	None	PTD	

FLOOR PLAN GENERAL NOTES

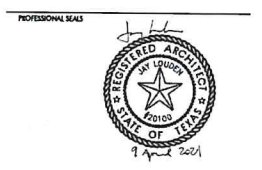
- ALL UNMARKED PARTITIONS ARE TYPE A1.
- FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
- ALL PLAN DIMENSIONS ARE TAKEN TO THE CENTERLINE OF COLUMNS AND TO THE OUTERMOST SURFACE OF THE WALL (INCLUDING TILE, STONE, PLASTER, ETC. INCLUDING TRIM), UNLESS NOTED OTHERWISE.
- INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
- GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE REQUIRED OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MAJOR JOINT COVERING WHERE PRESENT. CONTRACTOR IS TO PROVIDE SUFFICIENT OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL FINISH SCHEDULE DETAILS AND WINDOW SCHEDULE DETAILS.

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
MATCHLINE SEE 01/A104	MATCHLINE SHEET REFERENCE
KEYED NOTE	KEYED NOTES ONLY APPLY TO THE SHEET
A1/A	PARTITION TAG REFER TO PARTITION SCHEDULE
A-201	BUILDING SECTION TAG WALL SECTION TAG
A-201	EXTERIOR ELEVATION TAG
A-211	INTERIOR ELEVATION TAG
A-431	PLAN REFERENCE TAG
ROOM NAME	ROOM NAME ROOM NAMES
6-HOUR EPOXY BARRIER	6-HOUR EPOXY BARRIER
1-HOUR FIRE PARTITION	1-HOUR FIRE PARTITION
2-HOUR FIRE PARTITION	2-HOUR FIRE PARTITION
3-HOUR FIRE PARTITION	3-HOUR FIRE PARTITION
NEW DOOR WITH DOOR TAG REF DOOR ELEVATION	NEW WINDOW WITH WINDOW MARK REF WINDOW ELEVATION
0	COLUMN GRID DESIGNATION



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ENLARGED FLOOR PLANS AND RESTROOM ELEVATIONS

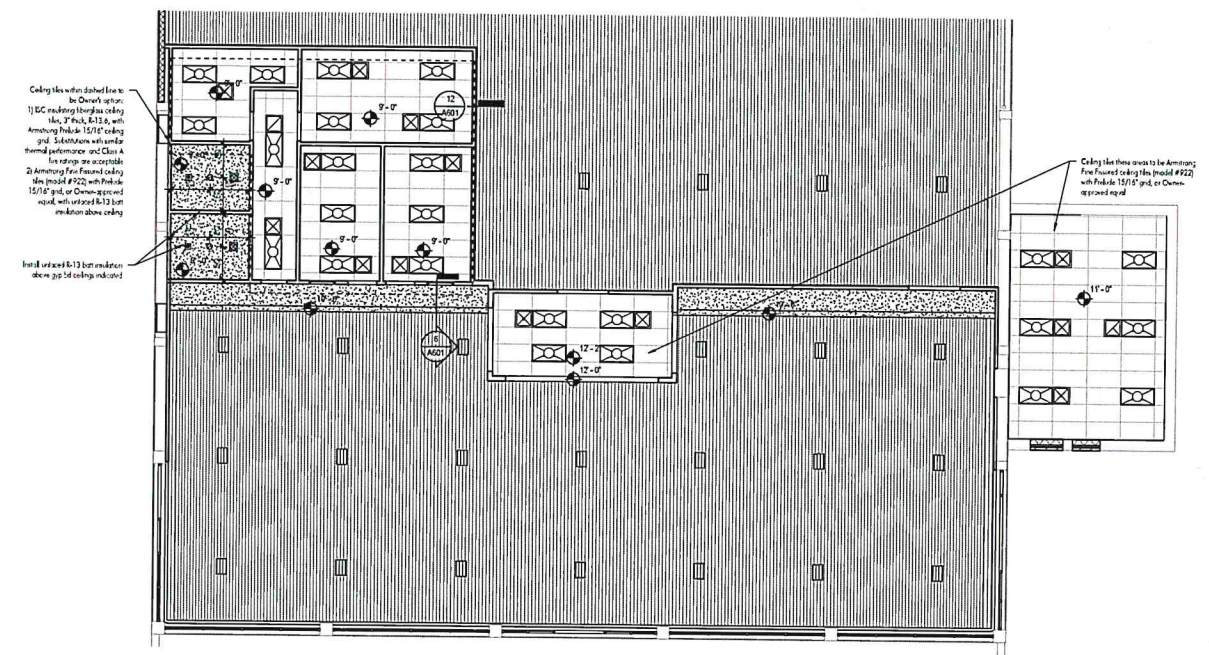
DESIGN BY: JRE
PROJECT NUMBER: 2010801
ISSUED FOR CONSTRUCTION

CHECKED BY:
PROJECT ARCHITECT
DATE: 09 April 2021



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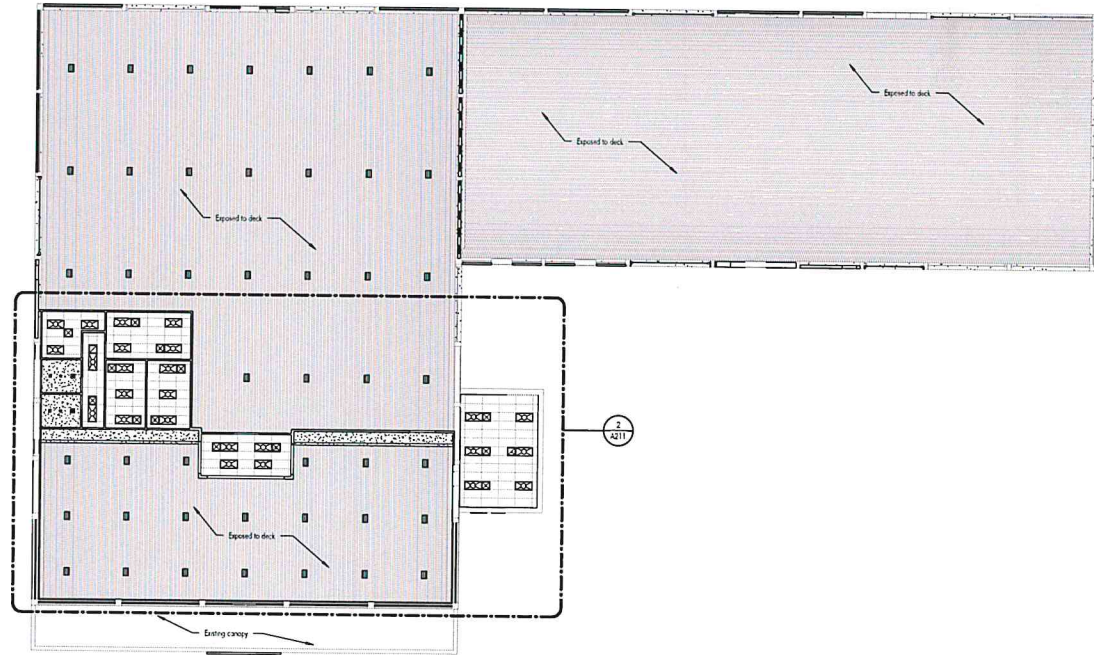
2 ENLARGED REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

- CEILING PLAN GENERAL NOTES**
1. ALL ACOUSTICAL CEILING GRIDS TO BE CENTERED WITHIN ROOM UNLESS NOTED OTHERWISE.
 2. ALL CORRIDOR ACOUSTICAL CEILING GRIDS TO BE CENTERED WITHIN THE CORRIDOR UNLESS NOTED OTHERWISE.
 3. ALL RECESSED LIGHT FIXTURES TO BE CENTERED WITHIN ACOUSTICAL CEILING TILE.
 4. ALL RECESSED LIGHT FIXTURES IN TOILET ROOMS TO BE CENTERED.
 5. ALL CEILING HEIGHTS NOT MARKED SHALL BE 9'-0" AFF.
 6. LIGHT FIXTURE AND MECHANICAL TERMINAL LOCATIONS ARE PROVIDED FOR COORDINATION PURPOSES. ELECTRICAL AND MECHANICAL TRADES ARE RESPONSIBLE FOR DESIGN, FITTING, AND CODE COMPLIANCE OF COMPLETE SYSTEMS.

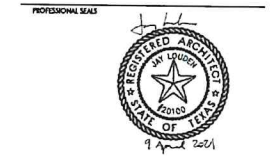
CEILING PLAN LEGEND

SYMBOL	DESCRIPTION
	48x24 LED LIGHT FIXTURE
	SUSPENDED LED LIGHT FIXTURE
	DOWNLIGHT
	WALL MOUNTED LED LIGHT FIXTURE
	24x24 ACOUSTIC CEILING TILE
	GYPSUM CEILING
	EXPOSED TO DECK
	ACCESS PANEL
	SUPPLY
	RETURN
	EXHAUST

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1 OVERALL REFLECTED CEILING PLAN
SCALE: 1/16" = 1'-0"



REVISION HISTORY

REVISION	DESCRIPTION	DATE

REFLECTED CEILING PLAN

DRAWN BY	CHECKED BY
JUL	
PROJECT NUMBER	PROJECT ABBREVIATION
2010001	
ORIGINAL ISSUE	DATE
ISSUED FOR CONSTRUCTION	09 April 2021

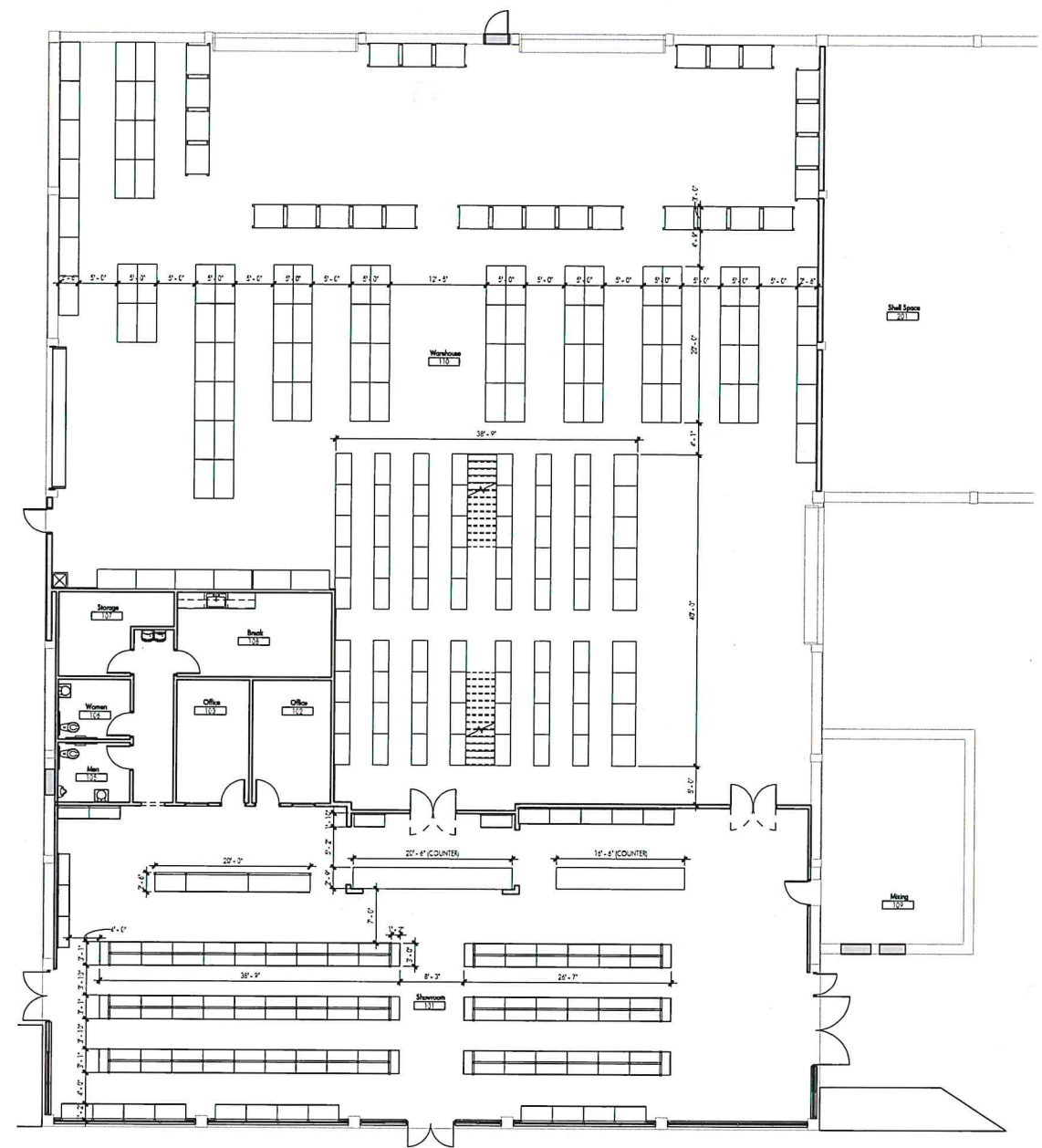
A211



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1 LEVEL 01 FURNITURE
SCALE: 1/8" = 1'-0"

PROFESSIONAL SEAL



REVISION HISTORY

REVISION	DESCRIPTION	DATE

FURNITURE PLAN

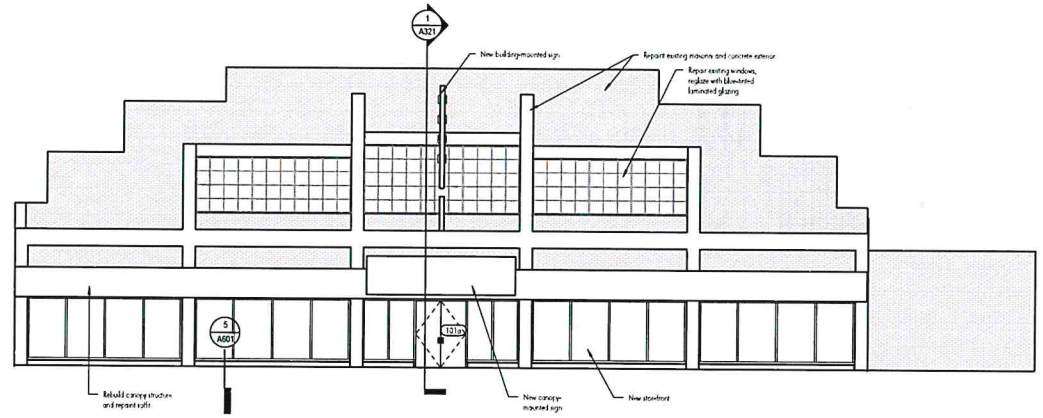
DRAWN BY JFE	CHECKED BY JFE
PROJECT NUMBER 2010801	PROJECT AMENDMENT
ISSUANCE DATE ISSUED FOR CONSTRUCTION	DATE 09 April 2021

EXTERIOR GENERAL NOTES

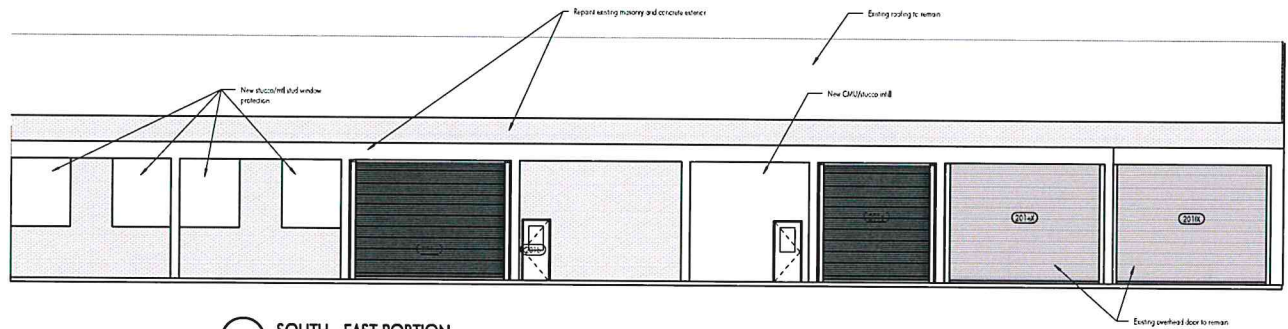


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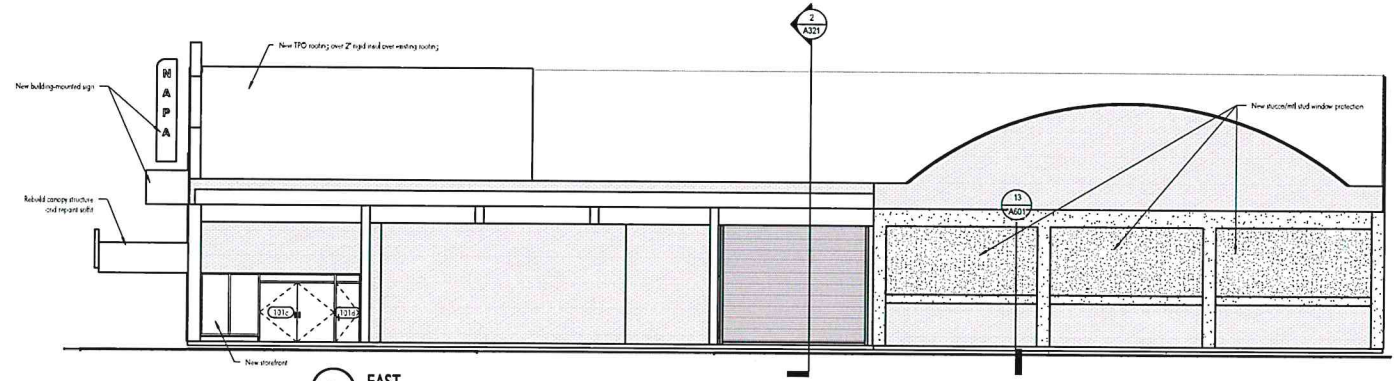
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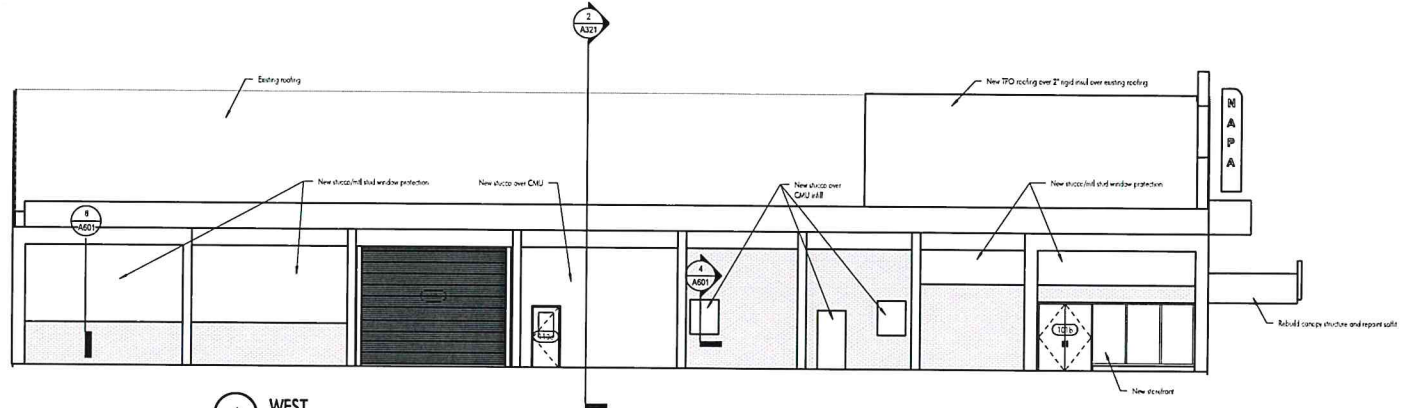
1 SOUTH - WEST PORTION
SCALE: 1/8" = 1'-0"



2 SOUTH - EAST PORTION
SCALE: 1/8" = 1'-0"

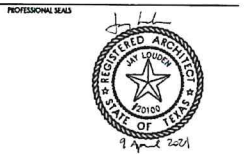


3 EAST
SCALE: 1/8" = 1'-0"



4 WEST
SCALE: 1/8" = 1'-0"

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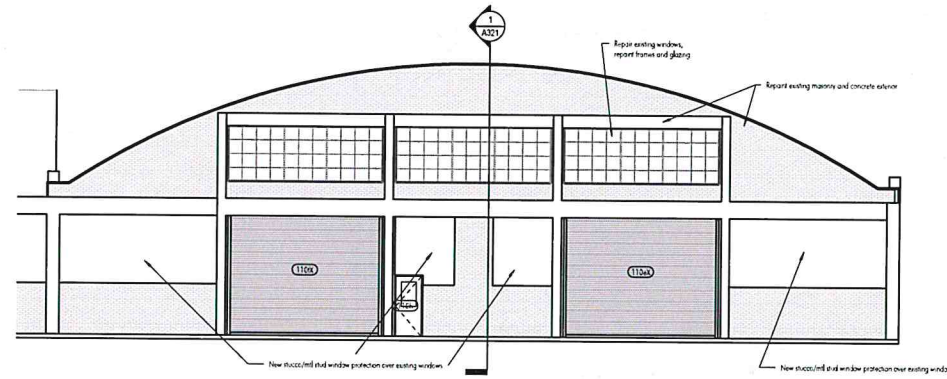
EXTERIOR ELEVATIONS

DRAWN BY JRE	CHECKED BY
PROJECT NUMBER 2010801	PROJECT ABREVIATION
ORIGINAL DATE ISSUED FOR CONSTRUCTION	DATE 09 April 2021

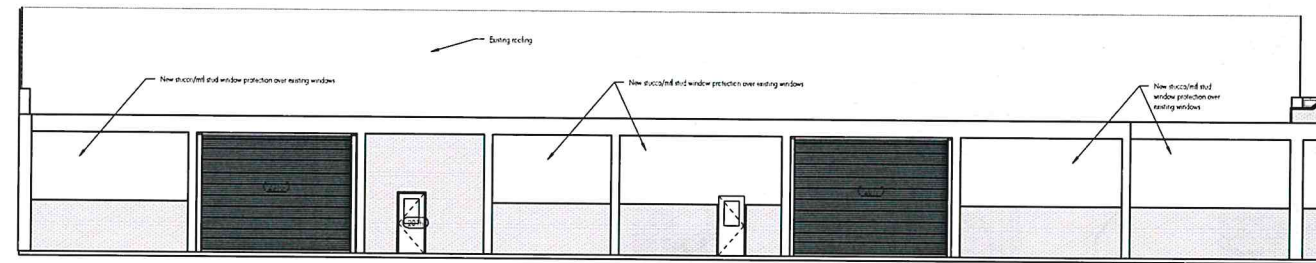


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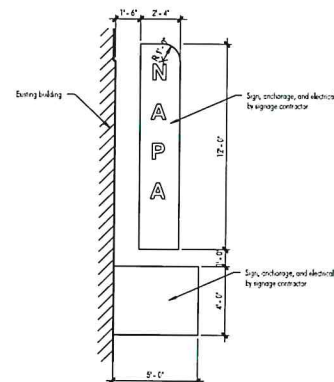
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1 NORTH - WEST PORTION
SCALE: 1/8" = 1'-0"

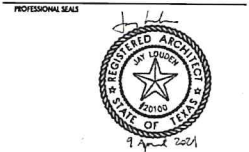


2 NORTH - EAST PORTION
SCALE: 1/8" = 1'-0"



3 SIGNAGE ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"

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REVISION	DESCRIPTION	DATE

EXTERIOR ELEVATIONS

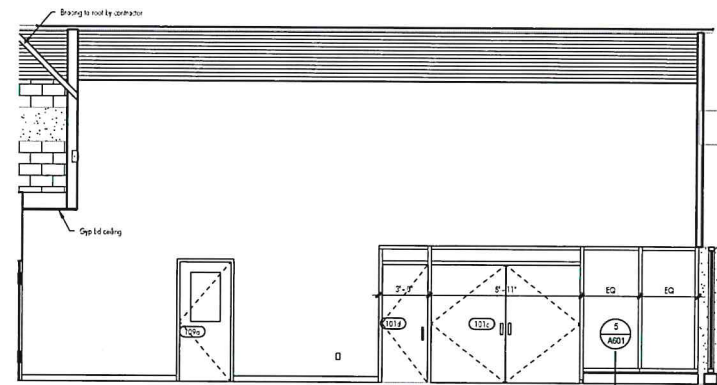
DRAWN BY JJE	CHECKED BY
PROJECT NUMBER 2010601	PROJECT APPROVATION
ORIGINAL DATE ISSUED FOR CONSTRUCTION	DATE 09 April 2021

A302

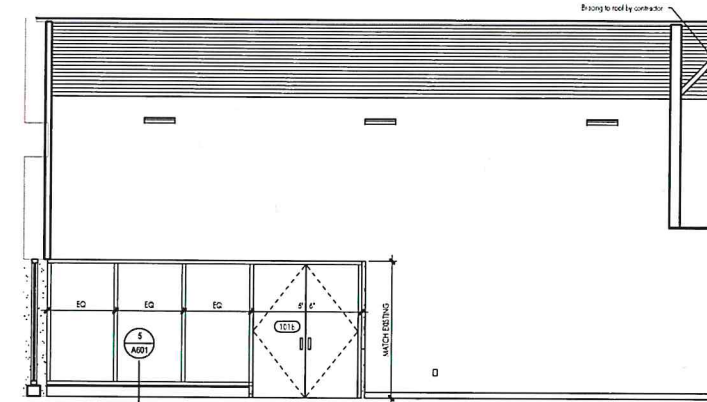


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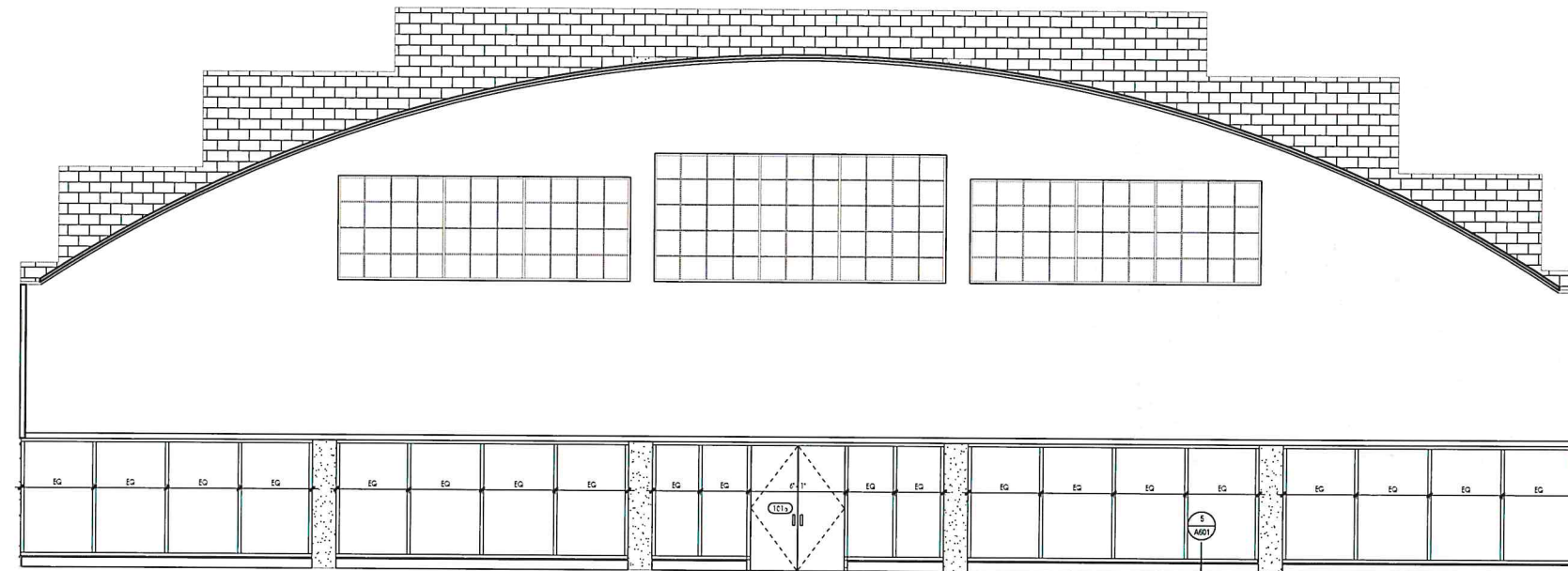
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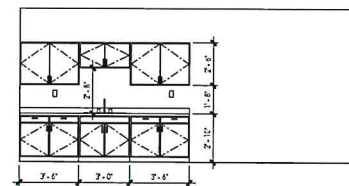
3 SHOWROOM EAST ELEVATION
SCALE: 1/4" = 1'-0"



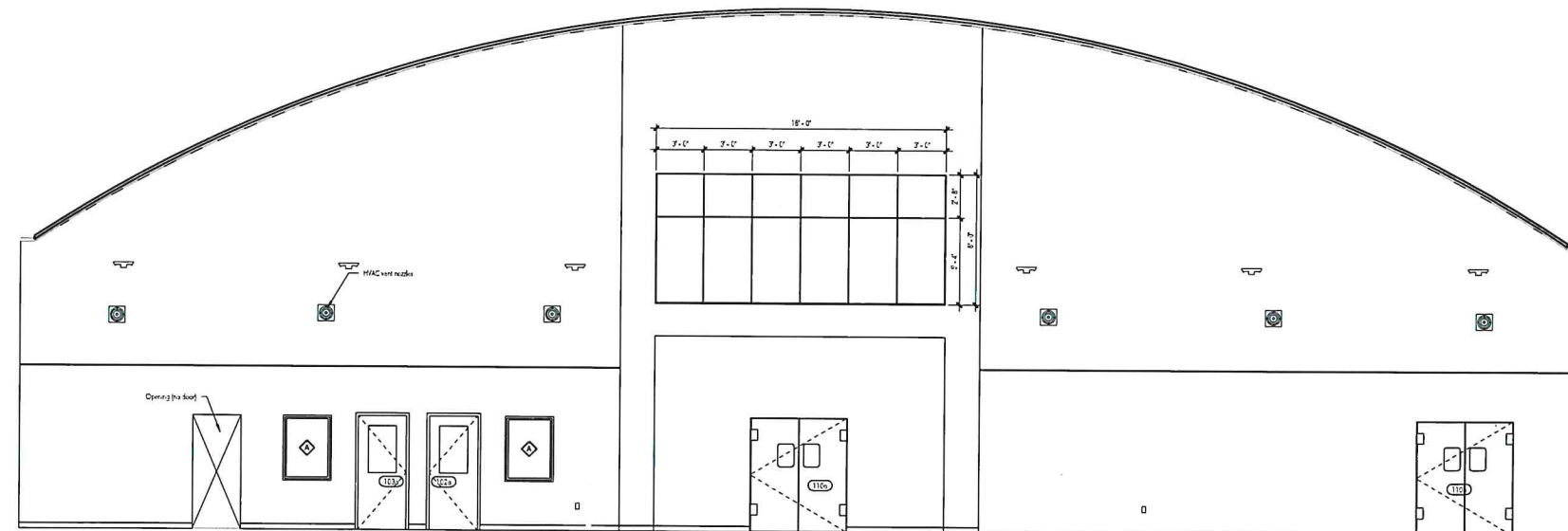
4 SHOWROOM WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SHOWROOM SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 BREAK ROOM NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 SHOWROOM NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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REVISION	DESCRIPTION	DATE

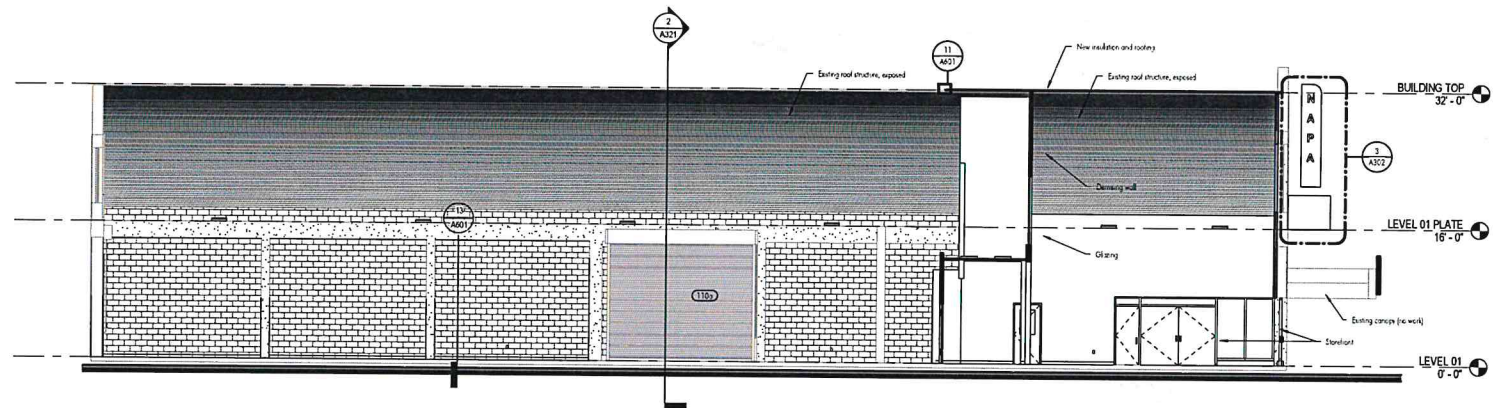
INTERIOR ELEVATIONS

DRAWN BY	CHECKED BY
JRE	
PROJECT NUMBER 2010801	PROJECT APPROVAL
ORIGINAL DATE ISSUED FOR CONSTRUCTION	DATE 09 April 2021

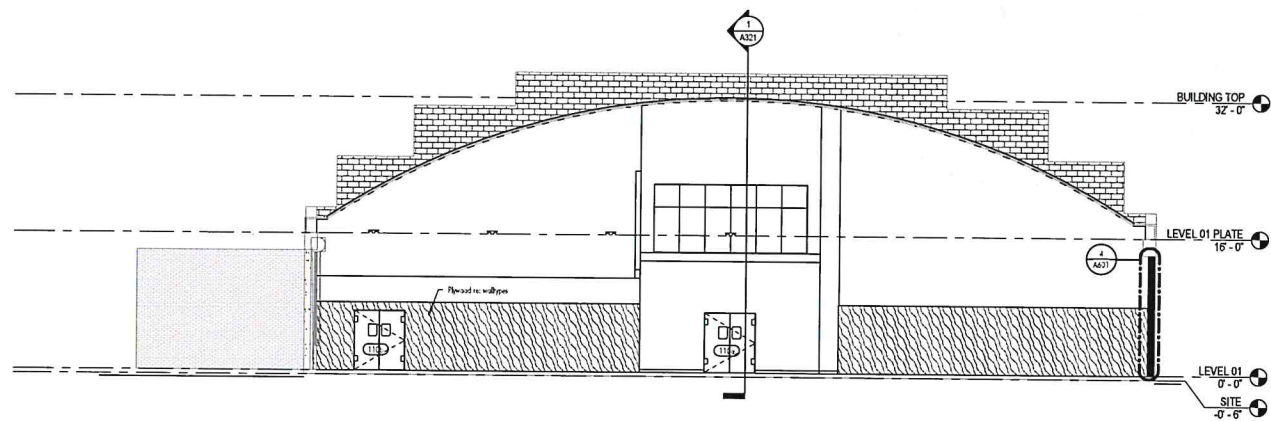


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1 BUILDING SECTION EAST-WEST
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION NORTH-SOUTH
SCALE: 1/8" = 1'-0"

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PROFESSIONAL SEAL



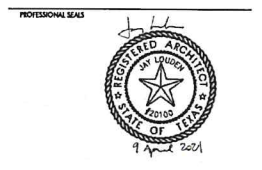
REVISION HISTORY

REVISION	DESCRIPTION	DATE

BUILDING SECTIONS

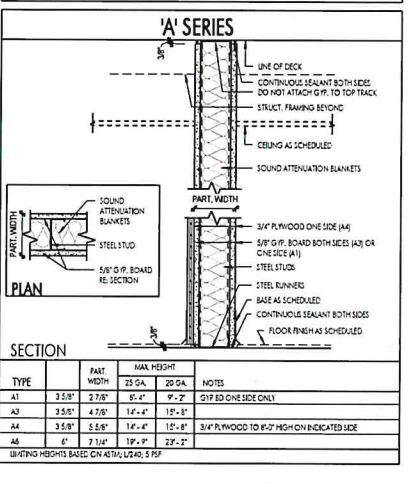
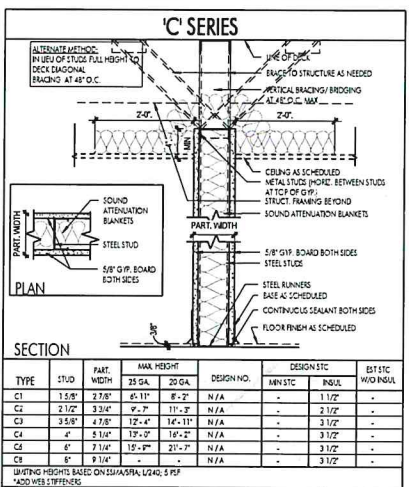
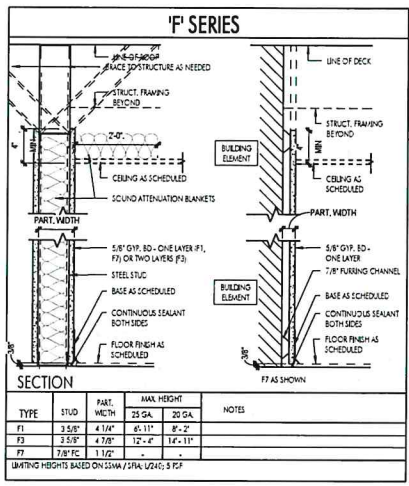
DRAWN BY	CHECKED BY
JRE	
PROJECT NUMBER	PROJECT APPROVAL/NOTCH
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ORIGINAL ISSUE	DATE
ISSUED FOR CONSTRUCTION	09 April 2021

A321



REVISION HISTORY		
REVISION	DESCRIPTION	DATE

DESIGN BY	CHECKED BY
JRE	
PROJECT NUMBER	PROJECT ABBREVIATION
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ISSUED FOR CONSTRUCTION	DATE
	09 April 2021

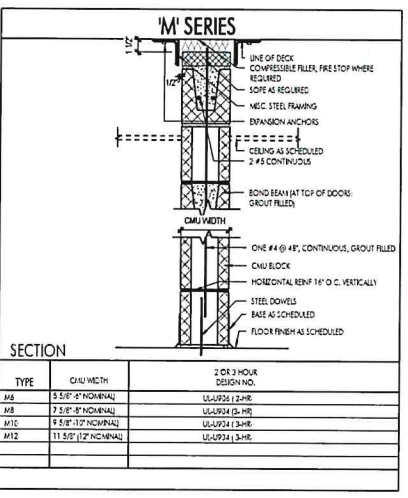


PARTITION NOTES

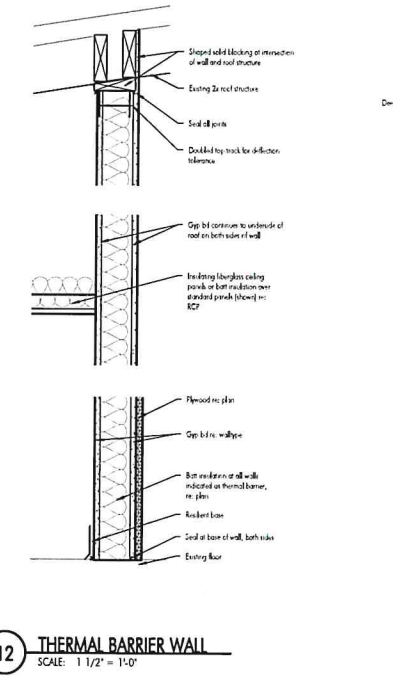
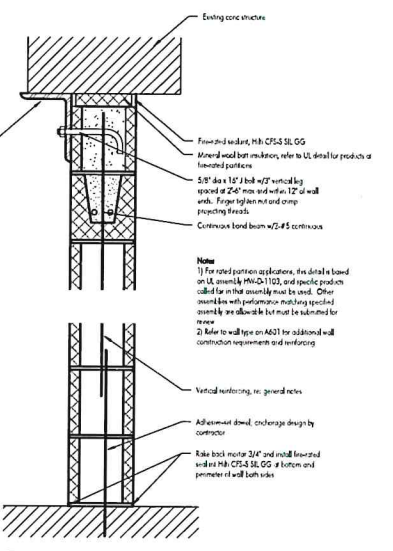
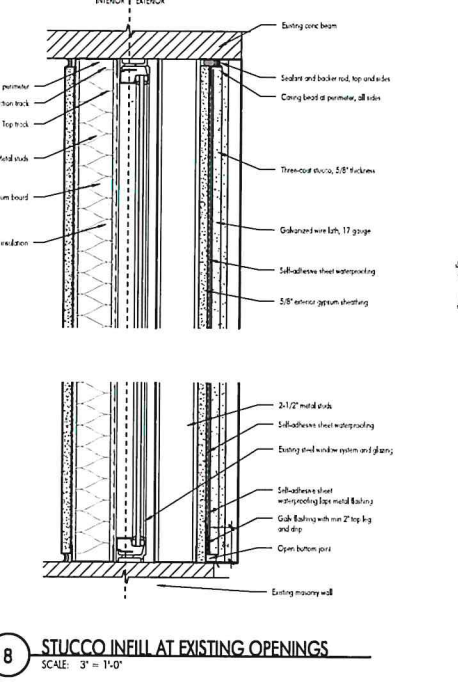
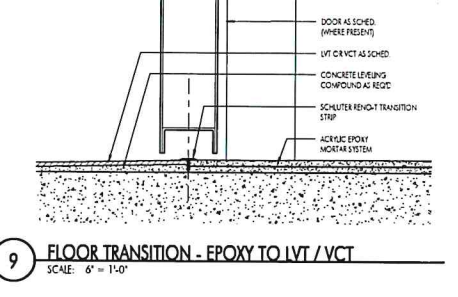
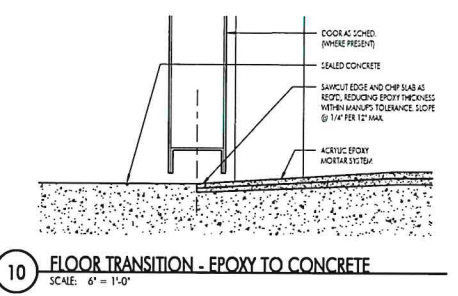
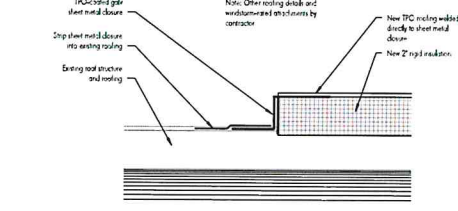
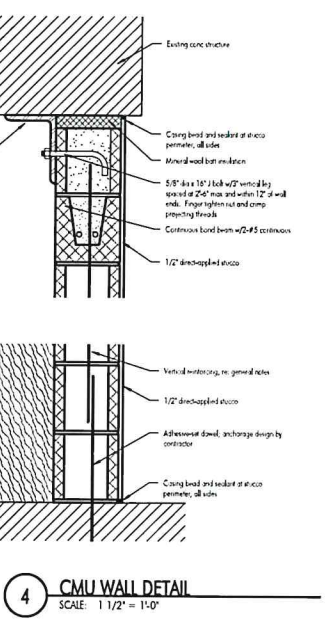
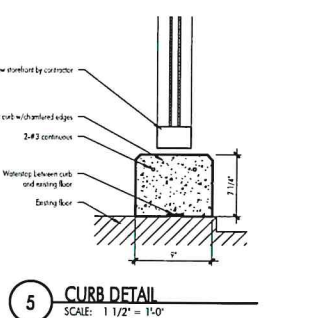
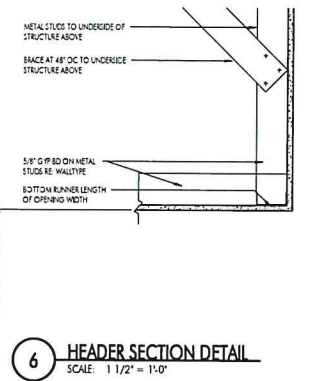
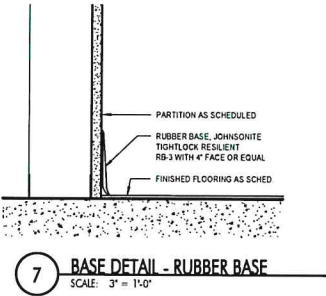
- ALL NEW INTERIOR PARTITIONS SHOWN ON THE FLOOR PLAN ARE TYPE A2, UNLESS NOTED OTHERWISE.
- PARTITION TYPE REFERENCES ARE INDICATED ON THE FLOOR PLAN.
- CEILING HEIGHTS MAY VARY ON EITHER OR BOTH SIDES OF THE PARTITION. REFER TO FLOOR PLAN, REFLECTED CEILING PLAN AND CEILING DETAILS FOR CEILING HEIGHTS.
- METAL STUDS SHALL BE SPACED AT 16" O.C. UNLESS NOTED OTHERWISE. LIGHT GAUGE METAL FRAMING STUDS SPACED AT 16" O.C. UNLESS NOTED OTHERWISE. REFER TO CEILING DETAILS FOR CEILING HEIGHTS.
- ALL STEEL STUDS ARE CONTINUOUS FROM FLOOR TRACK TO BOTTOM OF DECK ABOVE, UNLESS NOTED OTHERWISE. ALLOW FOR DEFLECTION WITH TOP TRACK ASSEMBLY.
- COLD FORMED METAL FRAMING SHALL BE USED IN LIEU OF STEEL STUDS WHERE REQUIRED TO MAINTAIN STUD WIDTH INDICATED ON THE DRAWINGS.
- ALL GYPSUM BOARD IS TO BE 5/8" THICK UNLESS NOTED OTHERWISE.
- REFER TO PARTITION DETAILS, DOOR INFORMATION, AND DOOR DETAILS FOR FRAMING AND ANCHORAGE AT DOORS.
- INSTALL DOUBLE 2x4 STUDS AT ALL OPENINGS, HEADS, JAMBS UNLESS NOTED OTHERWISE AT WINDOWS.
- REFER TO SYMBOL ON PLAN FOR FLOOR PLAN INDICATION OF CHANGES IN PARTITION TYPE.
- ALL JOINTS IN GYPSUM BOARD SHALL BE TAPE AND FINISHED. INCLUDING BATED PARTITIONS, UNBATED PARTITIONS, DIVIDED WALLS, CONCEALED WALLS, AND WALLS ABOVE THE CEILING.

REFERENCES

- SSMA - STEEL STUD MANUFACTURERS ASSOCIATION, "PRODUCT TECHNICAL INFORMATION," COPYRIGHT 2013
- SSMA - STEEL STUD MANUFACTURERS ASSOCIATION, "TECHNICAL GUIDE FOR COMPOUNDED STEEL FRAMING," COPYRIGHT 2011
- ASTM - ASTM INTERNATIONAL DESIGNATION F746-20, "STANDARD SPECIFICATION FOR INSTALLATION OF STEEL FRAMING MEMBERS TO RECEIVE GYPSUM BOARD OR GYPSUM PANEL PRODUCTS," 2011 EDITION
- GA - GYPSUM ASSOCIATION, "FIRE RESISTIVE DESIGN MANUAL," 19TH EDITION GA-603-2009
- UL - UNDERWRITERS LABORATORIES, "BUILDING MATERIALS, FIRE PROTECTION, ROOMING MATERIALS AND SYSTEMS AND FIRE RESISTANCE DIRECTIONS," 14 VOLUME, 2011 EDITION
- VMR-WACO HERCY MARK DIRECTOR
- KLECK-KOZIK EVALUATION SERVICES, INC. EVALUATION REPORT NO. 2079
- SABR-MANUFACTURER THERMAFLEX PRODUCT; SOUND ATTENUATION FIRE BLANKET.



TYPE	CEILING HEIGHT	2 OR 3 HOUR DESIGN NO.
M1	3.5'-0"	UL499A 3.5HR
M2	3.5'-0"	UL499A 3.5HR
M3	3.5'-0"	UL499A 3.5HR
M4	3.5'-0"	UL499A 3.5HR
M5	3.5'-0"	UL499A 3.5HR



U5x5.5x 1/2" w/11.5x1/4" web slotted hole centered on web leg at each 16". Anchor to existing structure with expansion anchors, spacing, size, and depth as shown.

Note:
1) For rated partition applications, this detail is based on U.S. assembly MHC-1102, and specific products called for in the schedule must be used. Other assemblies with performance matching specified assembly may be allowable but must be submitted for review.
2) Refer to walls on A601 for additional wall construction requirements and detailing.

Vertical bracing in general notes.
Adjustment should, exchange design by contractor.
Take back mortar 3/4" and install finished wall with 5/8" G.C. at bottom and perimeter of wall on sides.

2x1/2" metal stud.
3/8" adhesive sheet waterproofing.
Existing steel-weld system and glazing.
Butt welds on all walls indicated on thermal barrier, no also.
Rubber base.
Seal at base of wall, both sides.
Existing floor.

SCALE: 1 1/2" = 1'-0"

WINDOW SCHEDULE						
Mark	Width	Height	Frame Material	Glazing Type	Head Detail	Jamb Detail
A	7'-0"	7'-0"	Finished	Clear tempered	846311	756111
						614111

DOOR SCHEDULE													
Door Number	Type	Door			Material		Finish		Frame			Comments	
		Overall Width	Height	Thickness	Material	Finish	Material	Finish	Jamb	Head			
101A	C	8'-10 1/2"	7'-8 1/2"	0'-1 3/4"	Glass/Aluminum	Clear anodized	Aluminum	Clear anodized	MR	MR			
101B	C	8'-3 1/2"	7'-9 1/2"	0'-1 3/4"	Glass/Aluminum	Clear anodized	Aluminum	Clear anodized	MR	MR			
101C	C	8'-8 1/2"	8'-11"	0'-1 3/4"	Glass/Aluminum	Clear anodized	Aluminum	Clear anodized	MR	MR			
101D	C	7'-8 1/2"	7'-0"	0'-1 3/4"	Glass/Aluminum	Clear anodized	Aluminum	Clear anodized	MR	MR			
102A	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102B	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102C	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102D	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102E	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102F	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102G	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102H	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102I	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102J	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102K	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102L	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102M	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102N	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102O	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102P	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102Q	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
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102T	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
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102V	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102W	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102X	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102Y	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
102Z	B	7'-0"	7'-0"	0'-1 3/4"	WD	PTD	Painted	Painted	614111	1146111			
103A	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103B	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103C	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103D	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103E	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103F	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103G	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103H	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103I	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103J	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
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103P	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103Q	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103R	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103S	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103T	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103U	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103V	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103W	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103X	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103Y	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			
103Z	A	7'-0"	7'-0"	0'-1 3/4"	HM	PTD	Painted	Painted	1314111	1314111			

DOOR & FRAME GENERAL NOTES

- LOCATE DOOR FRAMES WITH THE INSIDE EDGE OF THE JAMB 7 FROM THE CORNER OF THE SPACE UNLESS SHOWN OTHERWISE.
- PRE LABELS ARE US CLASSIFICATIONS WITH FREE RATINGS SHOWN IN MINUTES. FREE RATINGS AND/OR LABELS REQUIRED FOR DOORS WITH EQUALITY TO THE FRAME AND THE HARDWARE ANYWHERE A RATING IS SHOWN IN THE SCHEDULE. THE APPLICABLE LABELS SHALL BE APPLIED TO THE DOOR, THE FRAME, AND THE HARDWARE THAT IS TO BE USED ON SAID DOOR.
- ACTUAL FRAME THICKNESS (INCLUDING 1/2" GASKET THICKNESS) SHALL NOT EXCEED THE ACTUAL PARTITION THICKNESS. ACTUAL THICKNESS INCLUDES ALL MATERIALS LISTED IN THE PARTITION SCHEDULE PLUS ALL OTHER MATERIALS. SEE LEAD LINES THAT ARE TO BE SLIT INTO THE PARTITION. DO NOT INCLUDE FINISHES APPLIED TO THE FACE OF THE PARTITION WHEN DETERMINING PARTITION THICKNESS UNLESS NOTED OTHERWISE.
- ALL HW, WD, AND LOW DOORS ARE TO BE 1 3/4" THICK UNLESS NOTED OTHERWISE.
- THE GENERAL CONTRACTOR IS TO COORDINATE THE INSTALLATION OF GARD READERS, ELECTRONIC LOCKING DEVICES, FIRE ALARMS, AUTO OPERATORS, AND ALL OTHER MONITORING DEVICES WITH THE DOOR AND FRAME HARDWARE.
- PROVIDE A 3/4" UNDERCUT AT ALL TOLERANCE ROOM DOORS - TYP.
- THE UNDERCUT ON FIRE RATED DOORS IF REQUIRED SHALL NOT EXCEED 3/4".
- ALL GLAZING USED IN THE INTERIOR DOORS SHALL BE LAMINATED TEMPERED "SAFETY GLASS" UNLESS NOTED OTHERWISE.
- FOR ANY FIRE RATED DOORS THAT REQUIRE GLAZING, SAID GLAZING SHALL HAVE THE SAME RATING AS THE DOOR ITSELF AND SHALL NOT BE MORE THAN 1/2" THICK.
- ALL DOORS THAT ARE TO RECEIVE FINISH HARDWARE ELECTRIFIED OR NOT SHALL HAVE CONCEALED VERTICAL RODS WITHIN THE DOOR LEAF.
- FOR ALL OTHER DOOR SCHEDULE ABERRATIONS SEE LIST BELOW.

FINISHES:
 A PAINT HW FRAMES UNLD
 B PAINT HW DOORS UNLD
 C STAIN WOOD VENEER DOORS UNLD

LABELS - FREE RATINGS:
 45 IN MINUTES

DOOR & FRAME LEGEND

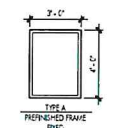
SYMBOL	DESCRIPTION
(Symbol)	NEW DOOR AND FRAME
(Symbol)	EXISTING DOOR AND FRAME

DOOR SCHEDULE FINISH AND MATERIAL ABBREVIATIONS:

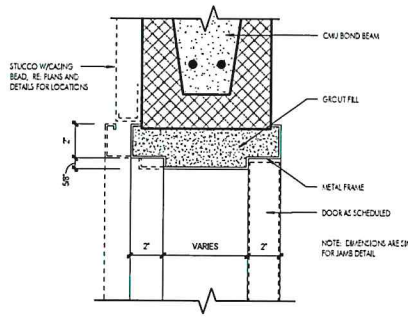
- HM - HOLLOW METAL
- PLM - PLASTIC LAMINATE
- COL - CLEAR GLASS (TEMPERED AND LAMINATED)
- CSL - TINTED CLEAR GLASS (TEMPERED AND LAMINATED)
- GYP - GYPSUM BOARD
- WD - WOOD
- SCW - SOLID CORE WOOD
- STAN - STAINED WOOD
- SS - STAINLESS STEEL
- STL - STEEL
- CA - CLEAR ANODIZED ALUMINUM
- AL - ALUMINUM
- FR - FINISH
- RF - REFINISHED
- ACE - ACE GLAZING

DOOR SCHEDULE COMMENTS CODES AND ABBREVIATIONS:

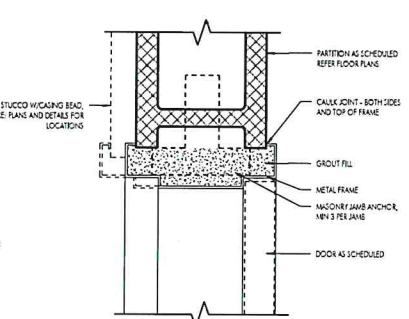
- ADD - AUTOMATIC SWING DOOR OPERATOR
- SDO - AUTOMATIC SLIDING DOOR OPERATOR
- CR - CAB READER
- ML - MAGNETIC LOCK (INTEGRATED DPS)
- EL - ELECTRIC LOCKSET (INTEGRATED DPS)
- REQ - REQUEST TO BE SWITCH
- IRF - INFRARED SENSOR
- MR - MEDIUM SENSOR
- MHO - MAGNETIC HOLD OPEN
- MO - ELECTRIC HOLD OPEN DEVICE
- EPT - ELECTRIC POWER TRANSFER
- DPS - DOOR POSITION SENSOR
- FP - FIREFRANC HARDWARE
- EPF - ELECTRIC FIREFRANC HARDWARE (INTEGRATED RES)
- ETA - ELECTRIC FIREFRANC HARDWARE (LOCAL ALARMS AND MONITORING)
- SMS - SMOKE SEALS
- SND - SOUND SEALS
- RS - RILEY ASSISTANT
- LED - LED BACKLIT DOOR
- CYL - CYLINDER LOCK WITH KEY CHIMBEE
- HW - DOOR WITH A HARDWARE FINISHING FINISH
- PH - FIBER HANDLE / DUMMAY HARDWARE
- LL - DOOR LOCK
- PL - DOOR FINANCY LOCK
- PC - DOOR PASSAGE SET
- CL - DOOR CLOSER
- PP - PUSH PULL
- KY - KEY PAD
- PH - PUSH BUTTON
- RR - REMOTE RELEASE
- NR - DOOR NOT FIRE RATED



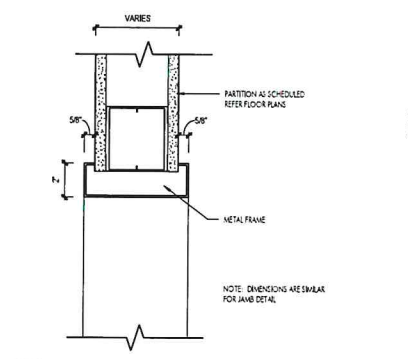
14 WINDOW TYPES
SCALE: 1/4" = 1'-0"



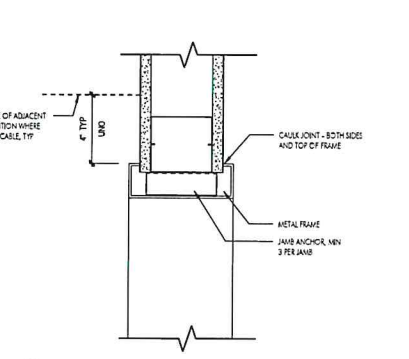
13 HM FRAME HEAD IN CMU
SCALE: 3" = 1'-0"



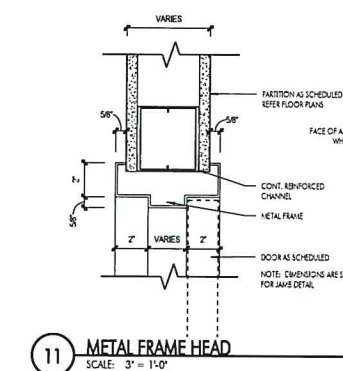
10 HM FRAME JAMB IN CMU
SCALE: 3" = 1'-0"



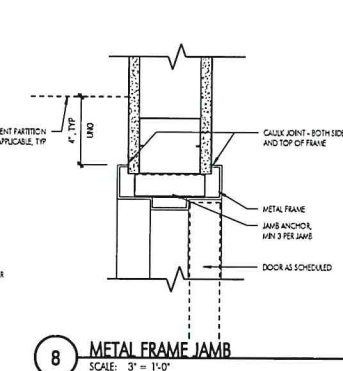
12 METAL CASED OPENING FRAME HEAD
SCALE: 3" = 1'-0"



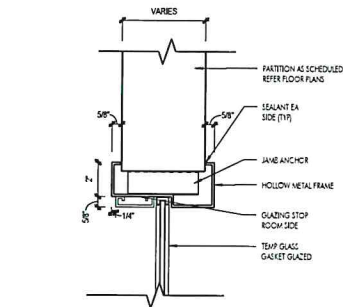
9 METAL CASED OPENING FRAME JAMB
SCALE: 3" = 1'-0"



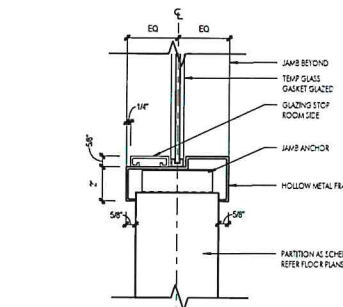
11 METAL FRAME HEAD
SCALE: 3" = 1'-0"



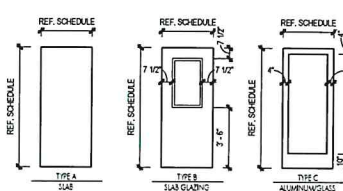
8 METAL FRAME JAMB
SCALE: 3" = 1'-0"



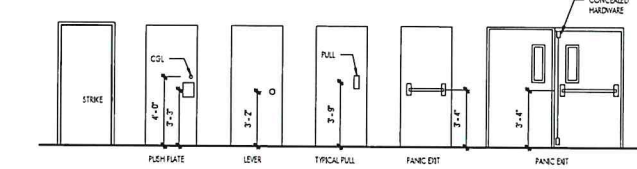
6 PF GLAZING FRAME HEAD / JAMB
SCALE: 3" = 1'-0"



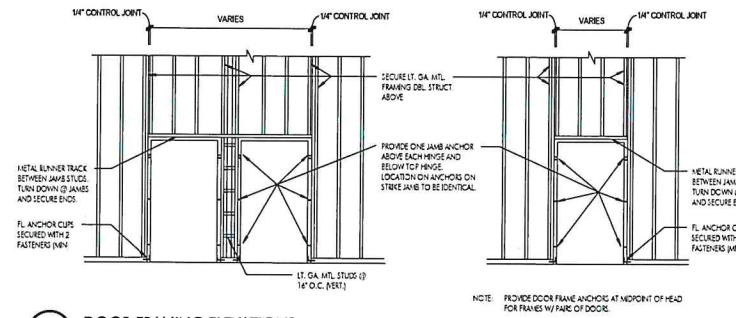
7 PF GLAZING FRAME SILL
SCALE: 3" = 1'-0"



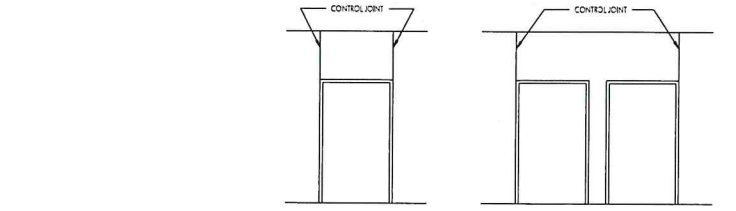
5 DOOR TYPES
SCALE: 1/4" = 1'-0"



3 HARDWARE MOUNTING HEIGHTS
SCALE: 1/4" = 1'-0"



2 DOOR FRAMING ELEVATIONS
SCALE: 1/4" = 1'-0"

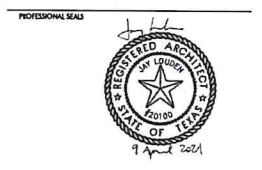


1 DOOR CONTROL JOINT ELEVATIONS
SCALE: 1/4" = 1'-0"



www.workshop.com
 info@workshop.com
 123 parland place, suite 100
 san antonio tx 78209

Corner S Properties LLC
 418 E Kleberg Ave.
 Kingsville, TX

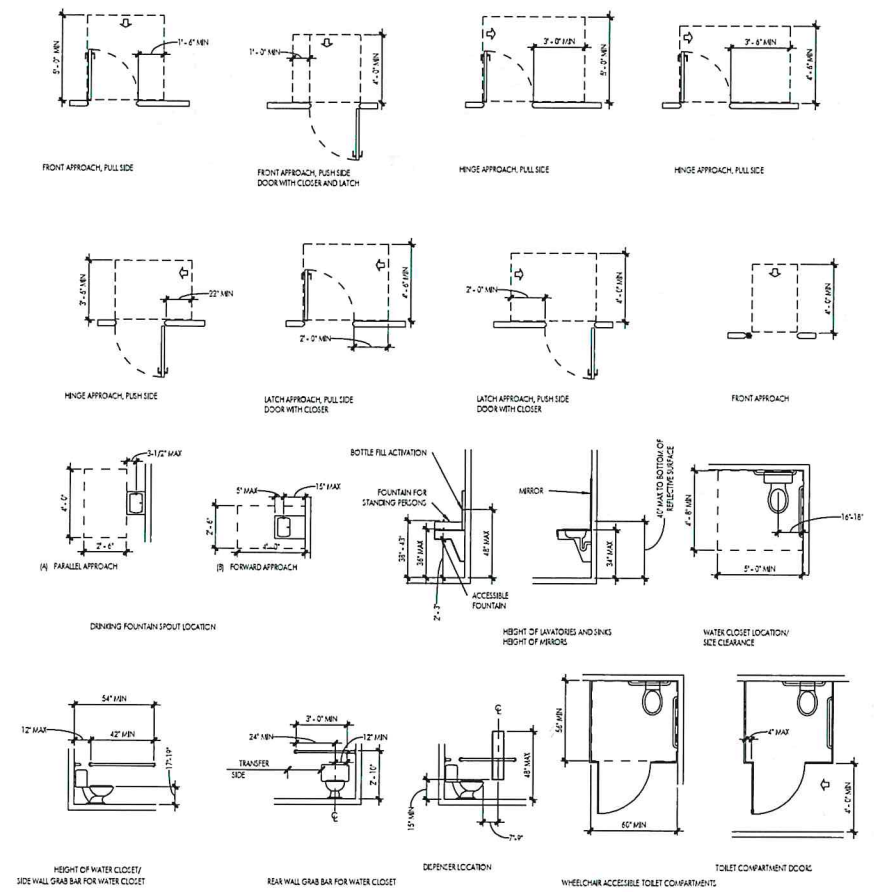


REVISION HISTORY		
REVISION	DESCRIPTION	DATE

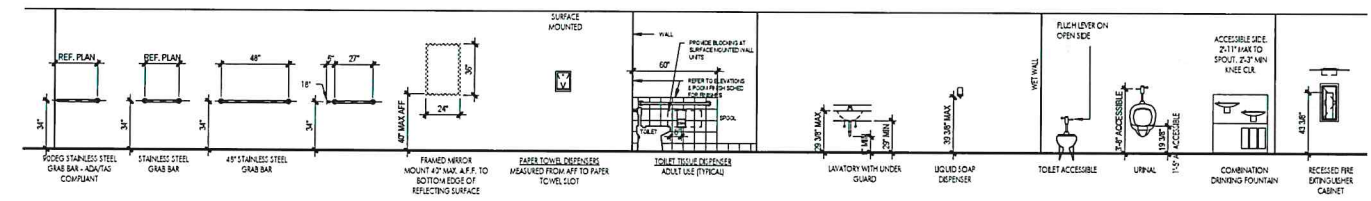
DOOR AND WINDOW SCHEDULES, ELEVATIONS, AND DETAILS

DESIGN BY: JRE
 PROJECT NUMBER: 2010601
 ORIGINAL DATE ISSUED FOR CONSTRUCTION: 09 April 2021

CHECKED BY: JRE
 PROJECT APPROVAL: [Signature]
 DATE: 09 April 2021

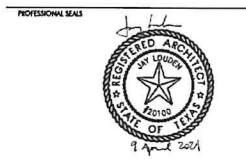


TAS STANDARDS



TYPICAL FIXTURES AND ACCESSORIES - MOUNTING HEIGHTS

Corner S Properties LLC
418 E Kleberg Ave.
Kingsville, TX



REVISION HISTORY		
REVISION	DESCRIPTION	DATE

ACCESSORY MOUNTING HEIGHTS AND TAS STANDARDS

DRAWN BY: JEL
PROJECT NUMBER: 2010801
ISSUING DATE: 09 April 2021

CHECKED BY: [Blank]
PROJECT ARCHITECT: [Blank]
DATE: 09 April 2021

3822 South Sixth Street
Kingsville, TX 78363
512/797-9053
ldthibodeaux@aol.com

LEROY DAVID THIBODEAUX

OBJECTIVE To attain a board position on The Historical Development Board of Kingsville, Texas

SKILLS & ABILITIES Knowledge of art history, historical renovation, event planning

EXPERIENCE **SFDT LAND HOLDING, LLC- KINGSVILLE**

August 2014 -present

Project manager for multiple residential and commercial acquisitions, design and renovation

THE SALAZAR EVENTS CENTER/ SALAZAR EVENTS-KINGSVILLE

June 2015- present

All aspects of event planning and event implementation

PERIODONTAL HEALTH PROFESSIONALS, LLC- AUSTIN

March 2008- present

Administrative assistant, marketing director/ team, equipment maintenance

DAVID THIBODEAUX CERAMIC DESIGN

June 1990- April 2001

Ceramic studio artist specializing in nonfunctional, decorative ceramic design; representation in sixteen art galleries across United States of America; mentor to emerging artists

GALVESTON COMMUNITY COLLEGE

September 1987- May 1991

Ceramic laboratory assistant responsible for construction of kilns, organization of supplies, children's ceramic class instructor

GALVESTON ARTS CENTER

September 1987- Summer 1990

In-house ceramic class instructor; resident artist / group show representation

EDUCATION **GALVESTON COMMUNITY COLLEGE 9/1987-5/1991--- GALVESTON**

Coursework including art history and art classes including ceramics, life drawing, jewelry fabrication/ welding, painting

MCNEESE STATE UNIVERSITY 9/1986-5/1987--- LAKE CHARLES, LA.

Coursework including art history, ceramics, history of film, French

ART INSTITUTE OF DALLAS 9/1984-5/1986--DALLAS

Associates degree in fashion merchandising

MCNEESE STATE UNIVERSITY 9/1983- 5/1984—LAKE CHARLES, LA.

Fashion merchandising curriculum; college level basic curriculum

VINTON HIGHT SCHOOL 9/1979- 5/1983—VINTON, LA.

High school diploma

COMMUNICATION Project presentations of historical renovation to multiple entities including Kingsville Historical Board, Kingsville Chamber of Commerce and Kingsville Rotary Club

LEADERSHIP Kingsville Chamber of Commerce Business of the Year—The Salazar Events Center –2016
Organization *or* Implementation *or* Support of Charity Events for Animal Rescue Kleberg, CASA Kleberg County, Toys for Tots, Disabled Childrens Event with Lions Club, Hurricane Harvey Disaster Relief
Community based Day of the Dead Art Exhibit

REFERENCES **MAGGIE SALINAS 361/355-2359**

CYNTHIA MARTIN 361/219-9325

Lucia G. Perez

641 E. Mesquite Ave., Kingsville Texas 78363 / 361-219-4581 / luciagperez1966@yahoo.com

Profile

Business professional with over twenty years experienced in managed business relationships, special projects and daily operations in a professional office environment. Maintain excellent written and oral communication skills, problem resolution abilities, multitasking and a high level of confidentiality.

Work History

Del Mar College, Small Business Development Center, Corpus Christi, TX

Jan 2020 to Presents

Rural Outreach Business Advisor/Corporate Support Program

- * Provide guidance and assistance to start-up or existing business gain knowledge of how to start or grow their business.
- * Assist with writing a Business Plan, comply with regulatory requirements, understand financial statements, market research, improve management skills and international trade.
- * Liaison for DMC/SBDC Corporate Support program.

Kingsville Chamber of Commerce, Kingsville, TX

Aug 2007 to Dec 2019

Office Manager

- * Responsible for the daily operations of the office.
- * Maintain a high level of customer service with the general public, business members, vendors, stakeholders, civic organizations and employers. Excellent communication skills both oral and written.
- * Schedule, coordinate and track income and expenditure of special events to report to the board.
- * Maintain and update both the chamber website and community calendar.
- * Communicate with chamber members via Constant Contact email blast/social media.
- * Responsible for tracking and ensuring cost-effectiveness of building utilities, maintenance supplies and personnel.
- * Tenant liaison for maintenance needs and contract issues.
- * Proficient in QuickBooks Pro, office program use to invoice, receive payments and pay bills.
- * Excellent working knowledge in all Microsoft Office Suite.

Other Work History

** Coastal Bend College, Kingsville, TX*

April 2005 to July 2007

Vocational Nursing Secretary to the Director of Programs

** Police Department, City of Kingsville, TX*

May 2004 to Sept 2004

Telecommunication s Operator

** Boeing company, NAS Kingsville, TX*

Aug 1996 to Sept 2003

GSE Maintenance Record Clerk/General Clerk III

Education

Bachelor of Industrial Technology, Texas A&M University-Kingsville (not complete)

Bachelor of Applied Arts & Science, Texas A&M University-Kingsville, May 2002

Associate in Applied Science, Coastal Bend College-Kingsville, May 1996 (Graduated with Honors)

Other Interest and Skills

Crime Stoppers, 2014 – 2016, Chair

Notary Public, State of Texas: Expires 2021

Unsung Hero Award: (Coastal Bend College 2006)