



HISTORICAL DEVELOPMENT BOARD

WEDNESDAY, MAY 19, 2021 AT 4:00 PM

CITY HALL – HELEN KLEBERG GROVES
COMMUNITY ROOM 400 WEST KING AVENUE

PHONE: 361.595.8055 | WWW.CITYOFKINGSVILLE.COM

ADA NOTICE

It is the intention of the City of Kingsville to comply in all aspects with the Americans with Disabilities Act (ADA). If you plan on attending a meeting to participate or to observe and need special assistance beyond what is routinely provided, the city will attempt to accommodate you in every reasonable manner. Please contact the Planning Secretary, 361-595-8055, at least two business days prior to the meeting to inform the City of your specific needs and to determine if accommodation is feasible.

AGENDA

The following rules of conduct have been adopted by this Commission:

1. Give your name and complete address.
2. No one may speak more than twice on the same item.
3. No one may speak more than 5 minutes at a time without permission from the Chairman.
4. No one may speak a second time on a question until every person who wants to speak has done so.
5. All submissions of evidence, i.e., photos, drawings, will be retained by the Historical Development Board and will become a part of the permanent file.

VIRTUAL MEETING NOTICE

In the interest of public health and safety, this meeting will be conducted online. To join please follow the instructions detailed below:

Phone Number: 415-655-0001 **Access Code:** 1262109951#

OR

Live Video Stream: <http://www.cityofkingsville.com/webex>

Access Code: 1262109951

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES FROM PREVIOUS MEETING(S)

1. April 21, 2021

****AUDIENCE AND PRESENTER SOCIAL DISTANCING AND PUBLIC TESTIMONY AND PUBLIC HEARING INPUT AT PUBLIC MEETINGS OF THE CITY BOARDS.** *To reduce the chance of COVID-19 transmission, public meetings will be held in a manner intended to separate, to the maximum practical extent, audience and presenters from personal contact with members of Community, City Staff, and City Boards. Public testimony and public hearing input for Public*

Comment and all items on the agenda at public meetings of the City Boards shall be provided in written format and presented to the Board Secretary and/or designee prior to the start of each meeting of the Historical Development Board. This testimony and/or public input shall be in accordance with the Board Secretary's instructions, which shall be posted on the Board Secretary's outdoor public bulletin board at City Hall and on the City website and allow for electronic submission. The written public testimony shall be provided to members of the City Boards prior to voting on measures for that meeting. Written testimony shall be limited in accordance with the Board Secretary requirements and shall be placed into the record of each meeting. This written testimony shall serve as the required public testimony pursuant to Texas Government Code section 551.007 and shall constitute a public hearing for purposes of any public hearing requirement under law. The meeting may be held telephonically or via videoconference; and, if so conducted, the public may participate remotely by following the instructions of the Board Secretary which would be posted on the Board Secretary's outdoor public bulletin at City Hall and on the City website.

PUBLIC COMMENTS FOR ALL AGENDA & NON AGENDA ITEMS

POSTPONEMENTS/ADJUSTMENTS TO THE AGENDA

AGENDA ITEMS

2. Discuss and Consider Action on a demolition of a dilapidated home on Orig Town, Block 65, Lots 14-16 also known as 311 South 4th Street.
3. Discuss and Consider Action on placing a portable storage building in the back yard of the house on Orig Town, Block 72, Lot 27, 28 also known as 512 East Huisache.
4. Discuss and Consider Action on adding sections of a cedar fence on two locations of the house on Orig Town, Block 20, Lot 25, 26, Acres 0 also known as 216 West Lee.
5. Discuss and Consider Action on installing a new privacy fence around the perimeter of the new home on 5th, Block 8, Lot W3' 29, 30-32, Acres .0 also known as 604 East Lott Avenue.
6. Discuss and Consider Action to demolish the commercial building on the 5th Addition, Block 1, Lots 8-16 also known as 635 East King Avenue.
7. Discuss and Consider Action to build a new Texas design Church's Chicken on the 5th Addition, Block 1, Lots 8-16 also known as 635 East King Avenue.

STAFF REPORT(S):

MISCELLANEOUS – *Any topic may be discussed but no action taken at this time*

ADJOURNMENT

POSTING NOTICE

I hereby certify that the above notice of meeting was posted on the bulletin board of City Hall, City of Kingsville, Texas, a place readily accessible to the general public at all times, on the **14th day of May 2021 by 5:30 PM**, and remained posted for at least 72 continuous hours preceding the scheduled time of said meeting.

s/ Brenda Joyas

Brenda Joyas, CNU-A Downtown Manager/HPO

This public notice was removed from the official posting board at the Kingsville City Hall on the following

date and time: _____

By: _____

Planning & Development Services

City of Kingsville, Texas

**HISTORICAL DEVELOPMENT BOARD
REGULAR MEETING
APRIL 21, 2021 @ 4:00 PM
CITY OF KINGSVILLE
HELEN KLEBERG GROVES COMMUNITY ROOM
400 W KING AVE**

Minutes

Attendance:

Historical Board Members Present:

Maggie Salinas
Tamara Brennan
Jeri Morey
Maria de Jesus Ayala-Schueneman

Staff:

Brenda Joyas, Historic Preservation Officer
Stephannie Resendez, Administrative Assistant II

Historical Board Members Not Present:

Jonathan Plant
Daniel Burt
Lupita Salazar-Weeks

1. **Call meeting to order:** Meeting was called to order at 4:00 PM
2. **Discuss and approve minutes from previous meeting –**
Tamara Brennan made a motion to approve the minutes of the February 24, 2021 meeting as presented. Maria de Jesus Ayala-Schueneman seconded. All in favor; none opposed. Motion Carried.
3. **Public comments on items on or off the agenda:** None.
4. **Postponements/Adjustments to the Agenda:**
5. **Discuss and Consider Action to install a metal fence from Yoakum Avenue to Lee Avenue, west of the Pavilion on 6th Street.**

Brenda Joyas told the board that there have been some concerns from people that rent the pavilion on 6th Street and Yoakum. Two years ago, the City Manager approached the railroad, Union Pacific and asked if there could be a fence that could be put up. There was a temporary plastic, wrap fence that was being put but because of the weather and people pulling on it, it breaks down very often. Ms. Joyas continued and stated that if they had a permanent fence that would keep everyone safe without worrying about the fence falling apart. The City Manager approached Union Pacific to put up a fence in the area and they have agreed that a fence would be a good idea there for the traffic and for the people that rent the pavilion. On the pictures, provided to the board members, they can see the big space between Yoakum and Lee and where they see the stakes is exactly where the fence will be. Ms. Joyas stated that the type of fence would be the one matching the fence around the water tower which is adjacent to it. They are not sure if it's going to be aluminum or wrought iron, but it will be a metal type fence that will match the same design.

The applicant stated that it will be aluminum to match the fence around the water tower. Ms. Salinas commented that she was glad to see that Union Pacific would be pay for the fence and

installation. It's always been a safety hazard because kids could run to the street. The applicant stated that Union Pacific will be paying for permitting, construction, clean-up and everything. Tamara Brennan made a motion to approve the installment of a metal fence from Yoakum Avenue to Lee Avenue west of the Pavilion on 6th Street. Jeri Morey seconded. All in favor; none opposed. Motion carried.

6. Discuss and Consider Action on adding canopies and paint to the shopping center at 6th, Block 17, Lot 17-21 also known as 618-634 E, King Avenue, add an outside seating area to the east of building.

Brenda Joyas stated that ICC Gulf Coast Retail I LLC has recently purchased the property and so they are upgrading the property in many aspects. They have re-done the parking lot area which was an intense help because it had many holes. They have fixed that. Ms. Joyas stated that they are now focusing their attention on the building. They would like to paint it, add some canopies and then the seating area east of the building. On the pictures, they will see drawings for the canopies and how they will be installed. They will be installed in front of the doors in each building. Ms. Joyas stated that they are pictures that were presented from ICC of what the building looks like now and then the renderings of how they would like the building to look like in the future. Ms. Joyas commented that it really gives it a face lift on this building. Ms. Joyas stated that they have given the board color options that they are not too sure which one they're going to use but for sure, materials for the paint will be volcanic ash for the lower body of the building and then the oatmeal will be the upper body which are both neutral colors. Then the color tinsel which is like a very light blue for the bands, cornice, door, door and window trims. Ms. Joyas stated there are some other colors posted because they were not sure which colors, they would use for the canopies, but the applicant is on the call to represent the company. Ms. Salinas asked if it had been discussed with Ms. Joyas regarding the color, they choose will be within the ones that are acceptable within the Historic District. Ms. Joyas replied correct. Ms. Joyas added that he wants the colors that match the building, so it won't be neon colors because they don't match the color of the building. Ms. Joyas asked the applicant if they had any idea of what the colors are getting closer to? The applicant replied if they look at the paint swatches for the canopy colors, they believe that the deep-sea blue, that navy blue color that's on the exhibit 3 Weblon Coast Line Plus page and added that it would compliment the oatmeal and volcanic ash, which can be called beige and gray. The applicant stated that it would fit in with the Historic District. The overall color scheme will be beige and gray building paint and then navy blue for the awnings. Ms. Salinas asked the board if they had any questions. Ms. Joyas added that onto the right, the architectural drawings that the board members received would be the seating area for Dandy's it will be cemented in and around the area of the property line would be a wrought iron fence. The fence will be 4 feet tall, and the panels would be 6 feet wide.

Ms. Salinas commented that she could not picture the canopy between the sign of the present businesses and the top of the building. Ms. Joyas replied that if they look at exhibit 1, the canopies are right over the windows and doors, under the signs.

Jeri Morey made a motion to approve the addition of canopies, paint, outside seating area east of building and fence to the shopping center at 6th, Block 17, Lot 17-21 also known as 618-634 E. King Avenue. Tamara Brennan seconded. All in favor; none opposed. Motion Carried.

7. Discuss and Consider Action on addition and remodel of Henrietta Hgts, Block 2, Lot W/2, 22, 23, 24 also known as 614 W. Richard Avenue.

Ms. Joyas told the board that the applicant applied to do an addition on the back of his house and a small remodel. They would like to expand their home to be able to enlarge their kitchen, dining room, sunroom and add a master suite. The addition would be added to the rear of the home and the same width of the existing home and will expand to the rear of the property. Ms. Joyas added that the applicants included a letter that stated that in the front of the home they will not change the design besides updating and replacing the materials with hardiplank. Attached they have their application, letter of their explanation of what they are doing to their home, location, and pictures of how the house looks. They also have the addition of the colors, Hematite (dark gray) that the

applicants were going to use for the house and the trim white. The applicant replied correct. The windows are going to be hurricane rated vinyl from Jenn-Weld or Pella based on availability. Ms. Joyas asked the applicant if they were still decided which windows they were going to use? The applicant stated that they are not dead set on neither one of those, they spoke to the contractor and are leaning towards the one with the white grid. They match the ones they have currently. Ms. Joyas asked if it was the windows with the panes on both the top or the bottom or just the ones on top? The applicant replied top and bottom, the example window was showing had both, the bottom was clear and the upper was with the little white grids. It's going to be the same look. Ms. Salinas asked Ms. Joyas if she was recommending. Ms. Joyas replied yes, she's recommending approval of the colors, addition that goes toward the back of the house. Tamara Brennan made a motion to approve the addition and remodel of Henrietta Hgts, Block 2, Lot W/2, 22, 23, 24 also known as 614 W Richard Avenue under Standard 10 of the Secretary of Interior Standards of Rehabilitation. Jeri Morey seconded. All in favor; none opposed. Motion Carried.

8. Discuss and Consider Action on home remodel on Orig Town, Block 31, Lot 14-16, (Apts) also known as 315 N. 3rd Street.

Ms. Joyas stated that the owner, Dennis Yaklin put in an application to remodel the home and replace the roof, windows, doors and paint. She added that he has given the Stone Lion paint colors which can be seen in the packet. It is a brownish color; the trim is a dark green color, and the applicant would like to replace the roof with a metal roof. One of the applicant's neighbors also has a metal roof. Ms. Joyas stated that the design of the metal roof was in the packet as well along with the color, which is a cocoa brown that matches the trim and the doors. Ms. Joyas stated that the applicant provided another example of colors they used at another property that he is using on the property at 315 N 3rd Street. The dark green trim, the light tan colors. The applicant has provided pictures of the windows he will be replacing as well as with the metal door. Ms. Joyas asked the applicant which windows they have decided on, the applicant replied that it would be the no pane windows and the 6 panel doors. Ms. Joyas stated that there's a picture with windows that have orange on them and those are the ones the applicant wishes to close. Ms. Joyas asked what the reason for closing the windows were? The applicant stated that most of the windows are in the kitchen area which is small and is where the refrigerator sits. There is a door next to it and the applicant doesn't see why they need a window that's blocked by a refrigerator.

Tamara Brennan made a motion to approve the home remodel on Orig Town, Block 31, Lot 14-16 (Apts) also known as 315 N. 3rd Street under Standards #9, 10 of the Secretary of Interior Standards of Rehabilitation. Maria de Jesus Ayala-Schueneman seconded. All in favor; none opposed. Motion carried.

9. Discuss and Consider Action on a remodel with new paint and windows for a residential home Orig Town, Block 70, Lot 7,8 also known as 415 E. Kenedy.

Ms. Joyas stated that the applicant was Box R.E Holdings, which is also the owner. They would like to remodel with new paint and install some windows. The applicant has provided the color swatches which are a blue color (Denim) for the trim and a white for the house. The applicant has provided the windows that they will be install, which is the Jeld-Wen Jamb Vinyl Egress New Construction, White Single-Hung windows. Ms. Salinas asked Ms. Joyas what her recommendation was. Ms. Joyas stated that her recommendation was to approve, the home is in great condition and this would add to it. Ms. Brennan asked if the current windows are 1 over 1? The applicant replied yes, they are the old wooden frame, single pane windows.

Jeri Morey made a motion to approve the remodel with new paint and windows for a residential home at Orig Town, Block 70, Lot 7,8 also known as 415 E. Kenedy under Standard #9 of the Secretary of Interior Standards of Rehabilitation. Tamara Brennan seconded. All in favor; none opposed. Motion Carried.

10. Discuss and Consider Action on resurfacing and painting exterior building and canopies on commercial structure, Orig Town, Block 55, lots 13, 14 also known as 425 E. King Avenue.

Ms. Joyas stated that it was a commercial building that was brought forward by Alcork, LLC, the owner is Derek McArthur. They would like to do some stucco colors on the outside, replace the existing canopies with a metal roof design and add a color to it. There are pictures showing what the building looks like currently. Ms. Joyas added that the shape of the canopies can be seen in the photos, they are deteriorating. They would like to replace them with metal roofing. On the north side, there's a small canopy with three windows, that would be replaced. The stucco that would be placed around the building is China White and Dover Sky. It is a very minimal color change between the trim and the wall. Ms. Joyas continued with the panels, they will be using a CFS panel, and the color will be the charcoal gray. Ms. Joyas stated that she recommended approval of the stucco, canopy replacement for the commercial building.

Tamara Brennan made a motion to approve the resurfacing and painting exterior building and canopies on commercial structure at Orig Town, Block 55, lots 13, 14 also known as 425 E. King Avenue under Standard #9 of the Secretary of Interior Standards of Rehabilitation. Jeri Morey seconded. All in favor; none opposed. Motion Carried.

11. Discuss and Consider Action on a final rendering on remodel of Orig Town, Block 41, lots 1-29, also known as 418 E. Kleberg Avenue.

Ms. Joyas stated that this is the old K.A Childs building across from H-E-B. They have come before the board before as a preliminary approval and they are coming back to the board for the final rendering. The plans provided show that the western covered parking lot and the eastern carport would be demolished along with the wall covering in the next door building east wall. The building owner is content with this demolish since his building will stand out more and the windows will be more prominent. Ms. Joyas added that the garage windows will be sealed by stucco for energy and safety reasons and the lamella roof will remain visible to the public. The front canopy is completely rotten out but will be rebuilt to current standards. There will be two signs on the front of the building, a small on the top arch to resemble the historic sign as was on the Child's dealership and another lighted sign on the rebuilt canopy with the NAPA name. The owner and architect were on the call. The applicant, Lee Stockseth spoke to the board, complimenting them on the downtown improvements that are going on. There were a few changes from the last time they presented and stated that Ms. Joyas did a great job in going over the changes.

Tamara Brennan made a motion to approve the final rendering on remodel of Orig Town, Block 41, lots 1-29 also known as 418 E. Kleberg Avenue under Standard #10 of the Secretary of Interior Standards of Rehabilitation. Jeri Morey seconded. All in favor; none opposed. Motion Carried.

12. Discuss and Consider nomination for Leroy David Thibodeaux

Ms. Salinas stated that the board should have his resume in the packet. Ms. Joyas added that Mr. Thibodeaux is very active in the community and is an avid preservationist. Always looking for a building he could purchase so that he could restore. He did a great job on the Salazar Building and is looking to do the same at another building located in the downtown. Ms. Salinas stated that she agreed.

Jeri Morey made a motion to nominate Leroy David Thibodeaux to the Historical Development Board. Tamara Brennan seconded. All in favor; none opposed. Motion Carried.

13. Discuss and Consider nomination for Lucia G. Perez

Ms. Joyas stated that Ms. Perez is part of the Small Business Development Center at Del Mar College and lives in Kingsville. She has been part of the chamber of commerce for a few years from 2007-2019. She's always been a part of the community and feels she can help on the board. Ms. Joyas stated that she would be a very good person for the board.

Maria de Jesus Ayala-Scheunemann made a motion to nominate Lucia G. Perez to the Historical Development Board. Jeri Morey seconded. All in favor; none opposed. Motion Carried.

Item #1.

14. STAFF REPORT – Lupita Perez resigned March 12, 2021.

15. Miscellaneous – None.

16. Adjournment: Meeting adjourned at 4:53 PM

CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: May 19, 2021
TO: Historic Development Board
FROM: Brenda Joyas, CNU-A (Downtown Manager/HPO)
SUBJECT: Discuss and Consider Action on a demolition of a dilapidated home on Orig Town, Block 65, Lots 14-16 also known as 311 South 4th Street.
APPLICANT: City of Kingsville, Code Enforcement
CONTRACTOR: City of Kingsville

REQUEST

Discuss and Consider Action on a demolition of a dilapidated home on Orig Town, Block 65, Lots 14-16 also known as 311 South 4th Street.

EXHIBITS

Application, Property Condition Report 2020 & 2021, Visual Inspection Checklist 2020 & 2021, Condemnation Checklist, 2019 & 2020 Tax Roll, Kleberg County Appraisal District Info 2019, 2020, 2021, Taxes Due 2020 & 2021, Google map, Notification letters to owner 2020 & 2021, Certified Mail receipts, Newspaper Public Notice, Prohibition of Occupancy 2020, 2020 pictures, Prohibition of Occupancy 2021, 2021 pics.

BACKGROUND & PERTINENT DATA

After a fire at the house in 2019, the house sustained major damage and was found in a severe and hazardous state of disrepair. This allows for easy access of animals, vagrants, and criminal activity. The house has also been found to have evidence of roach, rat, mouse, and other vermin infestation, graffiti, and a hazard to children. The house was not found on the Texas Historical Commission Historic Resources Survey.

STAFF REVIEW & RECOMMENDATION

Staff recommends approval of the demolition due to structural damage and dangerous site caused by dilapidation of the house due to lack of repair from fire.

BOARD REVIEW

Scope of Historical Development Board

In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

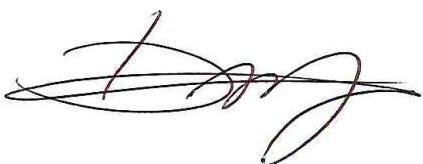
- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.

- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.
- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.
- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Brenda Joyas, *CNU-A*
Downtown Manager/HPO

Historical Development Board Review Application

Item #2.

Applicant: City of Kingsville

Address: 410 W KING - Kingsville TX 78363

Contact: Cell: 361-219-9325 Home: _____

Email: joyas.brenda@gmail.com

Property Owner: Juan Alvarez

Address: 205 W. Fairview, Kingsville, TX 78363

Contact: Cell: _____ Home: _____

Property Location and Description: 311 S. 4th St., ORIG TOWN, BLOCK 65, LOT 14-16

Description of Work: DEMO - UNSAFE PROPERTIES

Contractor: City of Kingsville

Contact: Cell: 361-219-9325 Home: _____

Email: joyas.brenda@gmail.com

Documents Required:

1. Sketch, Drawing, Plans, Site Plans, Mock-ups
2. Photographs (Historic, Current, Surrounding Structures)
3. Materials List or Samples
4. Proof of Ownership
5. Letter of Representation and Work Approval from Property Owner (If Applicable)

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: Brenda Joyas

Signature: [Signature] Date: 5/7/2021



CITY OF KINGSVILLE

P.O. BOX 1458
KINGSVILLE, TX 78364

REPORT ADDRESS 311 S 4TH ST		INSPECTOR Manuel Buentello	
LEGAL DESCRIPTION ORIG TOWN	BLOCK BLOCK 65	LOT LOT 14-16	
OWNER NAME ALVAREZ JUAN	OWNER'S ADDRESS 205 W FAIRVIEW	CITY/STATE/ZIP KINGSVILLE, TX 78363	

PROPERTY CONDITION REPORT

PICTURES TAKEN:	Y OR N	ACCEPTABLE			REASON CODE	COMMENT CODES
	Y	YES	NO	N/A		
Building						
Condition			X		AB,B,C,D,H	1,2
Yard						
Condition			X		OV	
Utilities						
Electric			X		D,H	
Gas				X		
Water			X		D,H	
Roof						
Covering			X		D,H	
Walls						
Exterior			X		D,H	
Interior			X		D,H	
Ceilings			X		D,H	
Windows/Doors						
Secured			X		B,D,H	
Condition			X		B,D,H	
Foundation						
Exterior			X		D,H	
Interior			X		D,H	
Plumbing						
Electrical						

REASON CODES:

AB-Abandoned	C-Collapsed	I-Incomplete	MO-Mold	NR-Needs Repair
AS-Asbestos	D-Deteriorated	L-Leaning	OU-Outdated	
B-Broken	H-Hazardous	MI-Missing	OV-Overgrown	

COMMENT CODES:

1. AN ATTRACTIVE NUCIANCE TO CHILDREN
2. A HARBOR FOR VAGRANTS, CRIMINAL AND IMMORAL PEOPLE
3. EVIDENCE OF ROACH, RAT, MOUSE, OR OTHER VERMIN FOUND
4. PARTIAL
5. UNCOVERED ROOF
6. GRAFFITI

BUILDING OFFICIAL COMMENTS: THE STRUCTURE SUSTAINED MAJOR DAMAGE DUE TO A FIRE IN APRIL 2019.
FOUND THE OVERALL CONDITION TO BE IN A SEVERE AND HAZARDOUS STATE OF DISREPAIR. IT IS UNSECURED ALLOWING
EASY ACCESS FOR ANIMALS, VAGRANTS, AND CRIMINAL ACTIVITY.

HAS BEEN WITHOUT WATER SINCE 4/1/2019 AND ELECTRICAL SINCE 4/2/2019

SIGNATURE:

DATE:

1-21-2020

CITY OF KINGSVILLE BUILDING OFFICIAL



CITY OF KINGSVILLE

P.O. BOX 1458
KINGSVILLE, TX 78364

REPORT ADDRESS 311 S 4th		INSPECTOR Maryann Trejo
LEGAL DESCRIPTION Orig Town	BLOCK 65	LOT 14-16
OWNER NAME Juan Alvarez Etux Cynthia	OWNER'S ADDRESS 205 W Fairview	CITY/STATE/ZIP Kingsville, TX 78363

PROPERTY CONDITION REPORT

PICTURES TAKEN:	Y OR N Y	ACCEPTABLE			REASON CODE	COMMENT CODES
		YES	NO	N/A		
Building			X		AB,B,C,D,H,L,MI	1,2,5
Condition						
Yard			X		OV,H	
Condition						
Utilities						
Electric			X			
Gas			X			
Water			X			
Roof						
Covering			X			
Walls						
Exterior			X		AB,B,C,D,H,L,MI	
Interior				X		
Ceilings			X		AB,B,C,D,H,L,MI	
Windows/Doors						
Secured			X		AB,B,C,D,H,L,MI	
Condition			X		AB,B,C,D,H,L,MI	
Foundation						
Exterior			X		AB,B,C,D,H,L,MI	
Interior				X		
Plumbing			X			
Electrical			X			

REASON CODES:

AB-Abandoned	C-Collapsed	I-Incomplete	MO-Mold	NR-Needs Repair
AS-Asbestos	D-Deteriorated	L-Leaning	OU-Outdated	
B-Broken	H-Hazardous	MI-Missing	OV-Overgrown	

COMMENT CODES:

1. AN ATTRACTIVE NUCIANCE TO CHILDREN
2. A HARBOR FOR VAGRANTS, CRIMINAL AND IMMORAL PEOPLE
3. EVIDENCE OF ROACH, RAT, MOUSE, OR OTHER VERMIN FOUND
4. PARTIAL
5. UNCOVERED ROOF
6. GRAFFITI

BUILDING OFFICIAL COMMENTS:

Found the overall condition to be in severe and hazardous state of disrepair. It is unsecured and very dangerous allowing easy access for animals, vagrants and criminal activity HAS BEEN WITHOUT WATER SINCE _____ AND ELECTRICAL SINCE _____

SIGNATURE:

CITY OF KINGSVILLE BUILDING OFFICIAL

DATE: 3-1-2021



DILAPIDATED STRUCTURES
PRELIMINARY VISUAL INSPECTION CHECKLIST

Owner: _____ Date View: 5-19-2020

Address: 311 S. 4th Kingsville, TX 78364

Legal Description: _____

Exterior Condition of Structure as Viewed from Right-of-Way:

	Yes	No	Comments
Exterior Walls		/	deteriorated and fire damaged
Roof	.	/	fire damaged
Windows		/	unsecured / fire damaged
Active Gas Svc		/	none
Active Water Meter		/	none
Active Electrical		/	none

Overall Condition of Premises:

	Yes	No	Comments
Grass		/	high weeds
Debris		/	light debris
Vehicles		/	none
Mail/Mail Box	/	.	
Fence		/	none

Code Enforcement Officer _____

CONDEMNATION CHECKLIST

Property Address: 311 54th Phone: _____
 Property Owner: Juan Alvarez & Cynthia Phone: _____
 Owner's Address: 205 W Fairview Fax: _____
Kingsville TX 78363

PLANNED DATE	ACTUAL DATE	ACTION
<input type="checkbox"/> <u>1-21-2020</u>	<u>1-21-2020</u>	1. Identify structure unfit for human habitation.
<input type="checkbox"/> <u>1-21-2020</u>	<u>1-21-2020</u>	2. Inspect Property. (Building Official)
		<input type="checkbox"/> a. Prepare inspection report and date.
		<input type="checkbox"/> b. Photograph property with date stamp.
<input type="checkbox"/> <u>1-21-2020</u>	<u>1-21-2020</u>	3. Determine ownership from county assessment & tax collection record.
<input type="checkbox"/> <u>1-21-2020</u>	<u>1-21-2020</u>	4. Obtain legal description.
<input type="checkbox"/> <u>1-21-2020</u>	<u>1-21-2020</u>	5. Obtain or complete title report to verify ownership & other vested interests, such as mortgage holders, trustees, etc.
<input type="checkbox"/> <u>1-29-2020</u> <u>resend letter</u> <u>3-1-2021</u>	<u>1-21-2020</u> <u>3-1-2021</u>	6. Send Notice of Violation & copy of inspection report to property owner(s) of record. Request written response from owner within 10 days from Notice of Violation indicating action the owner intends to take within the next 30 days to correct substandard conditions.
<input type="checkbox"/> <u>4-20-2021</u>	<u>4-20-2021</u>	7. 2 nd Notice Sent. (10 day response) (Optional)
<input type="checkbox"/> <u>4-20-2021</u>	<u>4-20-2021</u>	8. If response is not received or is not adequate, proceed as follows:
<input type="checkbox"/> <u>4-20-2021</u>	<u>4-20-2021</u>	9. Send 20-day pre notification letter owner(s) & others with vested interest in property advising the date the property will be presented to City Council for consideration of condemnation.
<input type="checkbox"/> <u>4-20-2021</u>	<u>4-20-2021</u>	<input type="checkbox"/> a. Owner unknown or whereabouts not known or such owner is a nonresident of Texas.
<input type="checkbox"/> <u>4-20-2021</u>	<u>4-20-2021</u>	1) Post affidavit in newspaper twice a week for one week
<input type="checkbox"/> <u>4-20-2021</u>	<u>4-20-2021</u>	10. Post sign on property advising date the City

☐ 5-19-2021
5-19-2021
☐ _____

☐ _____

☐ _____

☐ _____

☐ _____

☐ _____

☐ _____

☐ _____

☐ _____

☐ _____

☐ _____

☐ _____

Council will consider condemnation of structure.

11. Within the Historical District. Meeting date to be heard by the Historical Development Board.

12. Photograph posted sign with date stamp.

13. Prepare information packet for each City Council member, plus one each for City Manager, City Attorney & City Secretary consisting of

☐ a. Location Map

☐ b. Photographs of the structure with date stamp

☐ c. Inspection report

☐ d. Pre-condemnation notice

☐ e. Condemnation resolution

14. Place condemnation action resolution & supporting documentation for placement on the City Council agenda.

15. City Council adopts condemnation resolution.

16. File Notice of Condemnation with the County Clerk.

17. Send owner(s) & other vested interests the following:

☐ a. Copy of the City Council resolution.

☐ b. 45-day order to demolish

18. Post 45-day Order to Demolish on structure.

☐ a. Take photo with date stamp

19. Evaluate status of owner's action on 46th day after Order of Demolition was issued. If no action taken by owner, proceed with demolition.

20. Photograph posted notice with date stamp.

21. Notify utility companies to disconnect & remove services from structure for safe demolition.

22. Issue Notice to Proceed to Public Works Director and Demolition Crew.

23. Prepare demolition cost statement consisting of:

☐ a. Mailing fees

☐ b. Publication fees

☐ _____

- ☐ c. Demolition costs
- ☐ d. Landfill tipping fees
- ☐ e. Filing fees
- ☐ f. Administrative fees
- ☐ g. Any documentation miscellaneous costs

24. Send a letter & cost statement to the
Collections Department so they can send out bill.
Make copy of documents and send to the City
Attorney requesting a lien to be place on the
property.

2019 PRELIMINARY ROLL

CKI - CITY OF KINGSVILLE

Geo ID Order

05/31/2019 14:39PM

Prop ID	Owner	%	Legal Description	Values
12957	63003	100.00	R Geo: 100106427000192 ORIG TOWN, BLOCK 64, LOT 27, 28	Effective Acres: 0.000000 Imp HS: 0 Market: 35,630 Imp NHS: 33,630 Prod Loss: 0 Land HS: 0 Appraised: 35,630 Land NHS: 2,000 Cap: 0 C1 Prod Use: 0 Assessed: 35,630 Prod Mkt: 0 Exemptions:
RAMON EDUARDO T ETUX KALYNN 1906 MORNINGSIDE DR ALICE, TX 78332 State Codes: A Situs: 422 W LOTT TX Acres: 0.0000 Map ID: C1 Mtg Cd: DBA:				
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed Exemptions Taxable Tax Rate Est. Tax
CKI	CITY OF KINGSVILLE			35,630 0 35,630 0.830000 295.73
13792	62011	100.00	R Geo: 100106429000192 ORIG TOWN, BLOCK 64, LOT 29-32, ACRES .0	Effective Acres: 0.000000 Imp HS: 0 Market: 36,330 Imp NHS: 32,330 Prod Loss: 0 Land HS: 0 Appraised: 36,330 Land NHS: 4,000 Cap: 0 C1 Prod Use: 0 Assessed: 36,330 Prod Mkt: 0 Exemptions:
SAENZ SOFIA C 430 W LOTT AVE KINGSVILLE, TX 78363-5360 State Codes: A Situs: 430 W LOTT Acres: 0.0000 Map ID: C1 Mtg Cd: DBA:				
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed Exemptions Taxable Tax Rate Est. Tax
CKI	CITY OF KINGSVILLE			36,330 0 36,330 0.830000 301.54
25571	62637	100.00	R Geo: 100106501000192 ORIG TOWN, BLOCK 65, LOT 1-5, (E X E M P T)	Effective Acres: 0.000000 Imp HS: 0 Market: 72,620 Imp NHS: 63,870 Prod Loss: 0 Land HS: 0 Appraised: 72,620 Land NHS: 8,750 Cap: 0 C1 Prod Use: 0 Assessed: 72,620 Prod Mkt: 0 Exemptions: EX-XV
THE KEEPERS OF THE LIGHTHOUSE MINISTRIES 323 W KENEDY KINGSVILLE, TX 78363 State Codes: F1 Situs: 323 W KENEDY Acres: 0.0000 Map ID: C1 Mtg Cd: DBA:				
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed Exemptions Taxable Tax Rate Est. Tax
CKI	CITY OF KINGSVILLE			72,620 72,620 0 0.830000 0.00
19528	57124	100.00	R Geo: 100106506000192 ORIG TOWN, BLOCK 65, LOT 6, 7	Effective Acres: 0.000000 Imp HS: 23,510 Market: 45,700 Imp NHS: 17,570 Prod Loss: 0 Land HS: 2,310 Appraised: 45,700 Land NHS: 2,310 Cap: 0 C1 Prod Use: 0 Assessed: 45,700 Prod Mkt: 0 Exemptions: HS, OV65
GOODE JAMES F 319 W KENEDY KINGSVILLE, TX 78363 State Codes: A Situs: 319 W KENEDY TX Acres: 0.0000 Map ID: C1 Mtg Cd: DBA:				
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed Exemptions Taxable Tax Rate Est. Tax
CKI	CITY OF KINGSVILLE			45,700 8,400 37,300 0.830000 309.59
20320	60563	100.00	R Geo: 100106508000192 ORIG TOWN, BLOCK 65, LOT 8-13	Effective Acres: 0.000000 Imp HS: 0 Market: 70,010 Imp NHS: 59,510 Prod Loss: 0 Land HS: 0 Appraised: 70,010 Land NHS: 10,500 Cap: 0 C1 Prod Use: 0 Assessed: 70,010 Prod Mkt: 0 Exemptions:
CUMMINGS JAMES RYAN PO BOX 1256 ORANGE GROVE, TX 78372-12 State Codes: A Situs: 315 W KENEDY Acres: 0.0000 Map ID: C1 Mtg Cd: DBA:				
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed Exemptions Taxable Tax Rate Est. Tax
CKI	CITY OF KINGSVILLE			70,010 0 70,010 0.830000 581.08
22620	64420	100.00	R Geo: 100106514000192 ORIG TOWN, BLOCK 65, LOT 14-16	Effective Acres: 0.000000 Imp HS: 0 Market: 16,400 Imp NHS: 11,150 Prod Loss: 0 Land HS: 0 Appraised: 16,400 Land NHS: 5,250 Cap: 0 C1 Prod Use: 0 Assessed: 16,400 Prod Mkt: 0 Exemptions:
ALVAREZ JUAN ETUX CYNTHIA 205 W FAIRVIEW KINGSVILLE, TX 78363 State Codes: A Situs: 311 S 4TH ST TX Acres: 0.0000 Map ID: C1 Mtg Cd: DBA:				
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed Exemptions Taxable Tax Rate Est. Tax
CKI	CITY OF KINGSVILLE			16,400 0 16,400 0.830000 136.12
15816	14489	100.00	R Geo: 100106517000192 ORIG TOWN, BLOCK 65, LOT 17-20	Effective Acres: 0.000000 Imp HS: 0 Market: 31,330 Imp NHS: 27,330 Prod Loss: 0 Land HS: 0 Appraised: 31,330 Land NHS: 4,000 Cap: 0 C1 Prod Use: 0 Assessed: 31,330 Prod Mkt: 0 Exemptions:
OCHOA EDDIE ETUX DIANA 621 E ELLA AVE KINGSVILLE, TX 78363-3951 State Codes: A Situs: 319 S 4TH ST Acres: 0.0000 Map ID: C1 Mtg Cd: DBA:				
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed Exemptions Taxable Tax Rate Est. Tax
CKI	CITY OF KINGSVILLE			31,330 0 31,330 0.830000 260.04

2020 CERTIFIED APPRAISAL ROLL

As of Supplement # 0
CKI - CITY OF KINGSVILLE

Geo ID Order

07/22/2020 14:08PM

Prop ID	Owner	%	Legal Description	Values
12957	63003	100.00	R Geo: 100106427000192 RAMON EDUARDO T ETUX KALYNN 1906 MORNINGSIDE DR ALICE, TX 78332	Effective Acres: 0.000000 Imp HS: 0 Market: 33,310 Imp NHS: 31,310 Prod Loss: 0 Land HS: 0 Appraised: 33,310 Land NHS: 2,000 Cap: 0 C1 Prod Use: 0 Assessed: 33,310 Prod Mkt: 0 Exemptions:
			State Codes: A Situs: 422 W LOTT TX	Acre: 0.0000 Map ID: Mtg Cd: DBA:

Entity	Description	Xref Id	Freeze: (Year)	Ceiling	Assessed	Exemptions	Taxable			
CKI	CITY OF KINGSVILLE				33,310	0	33,310			
13792	62011	100.00	R	Geo: 100106429000192	Effective Acres:	0.000000	Imp HS:	0	Market:	
SAENZ SOFIA C					ORIG TOWN, BLOCK 64, LOT 29-32, ACRES .0					36,330
430 W LOTT AVE							Imp NHS:	32,330	Prod Loss:	
KINGSVILLE, TX 78363-5360							Land HS:	0	Appraised:	
					Acres:	0.0000	Land NHS:	4,000	Cap:	
State Codes: A					Map ID:	C1	Prod Use:	0	Assessed:	
Situs: 430 W LOTT					Mtg Cd:		Prod Mkt:	0	Exemptions:	
					DBA:					

Entity	Description	Xref Id	Freeze: (Year)	Ceiling	Assessed	Exemptions	Taxable		
CKI	CITY OF KINGSVILLE				36,330	0	36,330		
25571	62637	100.00	R	Geo: 100106501000192	Effective Acres: 0.000000	Imp HS: 0	Market: 72,620		
				ORIG TOWN, BLOCK 65, LOT 1-5, (E X E M P T)		Imp NHS: 63,870	Prod Loss: 0		
						Land HS: 0	Appraised: 72,620		
						Land NHS: 8,750	Cap: 0		
						C1	Prod Use: 0	Assessed: 72,620	
							Prod Mkt: 0	Exemptions: EX-XV	

Entity	Description	Xref Id	Freeze: (Year)	Ceiling	Assessed	Exemptions	Taxable	
CKI	CITY OF KINGSVILLE				72,620	72,620	0	
19528	57124	100.00	R	Geo: 100106506000192	Effective Acres: 0.000000	Imp HS: 26,650	Market: 42,170	
GOODE JAMES F				ORIG TOWN, BLOCK 65, LOT 6, 7		Imp NHS: 10,900	Prod Loss: 0	
319 W KENEDY						Land HS: 2,310	Appraised: 42,170	
KINGSVILLE, TX 78363						Land NHS: 2,310	Cap: 558	
				State Codes: A	Acres: 0.0000	C1	Prod Use: 0	Assessed: 41,612
				Situs: 319 W KENEDY TX	Map ID:		Prod Mkt: 0	Exemptions: HS, OV65
					Mtg Cd:			
					DBA:			

Entity	Description	Xref Id	Freeze: (Year)	Ceiling	Assessed	Exemptions	Taxable		
CKI	CITY OF KINGSVILLE				41,612	8,400	33,212		
20320	60563	100.00	R	Geo: 100106508000192	Effective Acres: 0.000000	Imp HS: 0	Market: 84,000		
CUMMINGS JAMES RYAN				ORIG TOWN, BLOCK 65, LOT 8-13		Imp NHS: 73,500	Prod Loss: 0		
PO BOX 1256						Land HS: 0	Appraised: 84,000		
ORANGE GROVE, TX 78372-12						Land NHS: 10,500	Cap: 0		
				Acres: 0.0000		Prod Use: 0	Assessed: 84,000		
				Map ID: C1		Prod Mkt: 0	Exemptions:		
				Mtg Cd: DBA:					
				State Codes: A					
				Situs: 315 W KENEDY					

Entity	Description	Xref Id	Freeze: (Year)	Ceiling	Assessed	Exemptions	Taxable		
CKI	CITY OF KINGSVILLE				84,000	0	84,000		
22620	64420	100.00	R	Geo: 100106514000192	Effective Acres: 0.000000	Imp HS: 0	Market: 13,950		
ALVAREZ JUAN				ORIG TOWN, BLOCK 65, LOT 14-16		Imp NHS: 8,700	Prod Loss: 0		
ETUX CYNTHIA						Land HS: 0	Appraised: 13,950		
205 W FAIRVIEW					Acres: 0.0000	Land NHS: 5,250	Cap: 0		
KINGSVILLE, TX 78363					C1	Prod Use: 0	Assessed: 13,950		
			State Codes: A	Map ID:		Prod Mkt: 0	Exemptions:		
			Situs: 311 S 4TH ST TX	Mtg Cd:					
				DBA:					

Entity	Description	Xref Id	Freeze: (Year)	Ceiling	Assessed	Exemptions	Taxable		
CKI	CITY OF KINGSVILLE				13,950	0	13,950		
15816	14489	100.00	R	Geo: 100106517000192	Effective Acres:	0.000000	Imp HS:	0	Market:
OCHOA EDDIE				ORIG TOWN, BLOCK 65, LOT 17-20			Imp NHS:	24,210	Prod Loss:
ETUX DIANA							Land HS:	0	Appraised:
621 E ELLA AVE					Acres:	0.0000	Land NHS:	4,000	Cap:
KINGSVILLE, TX 78363-3951					Map ID:	C1	Prod Use:	0	Assessed:
	State Codes: A				Mtg Cd:		Prod Mkt:	0	Exemptions:
	Situs: 319 S 4TH ST				DBA:				

Entity	Description	Xref Id	Freeze: (Year)	Ceiling	Assessed	Exemptions	Taxable
CKI	CITY OF KINGSVILLE				28,210	0	28,210

2020 CERTIFIED APPRAISAL ROLL

As of Supplement # 0

CKI - CITY OF KINGSVILLE

Geo ID Order

07/22/2020 14:08PM

Prop ID	Owner	% Legal Description	Values					
12957	63003	100.00 R	Geo: 100106427000192	Effective Acres: 0.000000	Imp HS: 0	Market: 33,310		
RAMON EDUARDO T			ORIG TOWN, BLOCK 64, LOT 27, 28		Imp NHS: 31,310	Prod Loss: 0		
ETUX KALYNN					Land HS: 0	Appraised: 33,310		
1906 MORNINGSIDE DR				Acres: 0.0000	Land NHS: 2,000	Cap: 0		
ALICE, TX 78332			State Codes: A	Map ID: C1	Prod Use: 0	Assessed: 33,310		
			Situs: 422 W LOTT TX	Mtg Cd: DBA:	Prod Mkt: 0	Exemptions:		
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed	Exemptions	Taxable		
CKI	CITY OF KINGSVILLE			33,310	0	33,310		
13792	62011	100.00 R	Geo: 100106429000192	Effective Acres: 0.000000	Imp HS: 0	Market: 36,330		
SAENZ SOFIA C			ORIG TOWN, BLOCK 64, LOT 29-32, ACRES .0		Imp NHS: 32,330	Prod Loss: 0		
430 W LOTT AVE					Land HS: 0	Appraised: 36,330		
KINGSVILLE, TX 78363-5360				Acres: 0.0000	Land NHS: 4,000	Cap: 0		
			State Codes: A	Map ID: C1	Prod Use: 0	Assessed: 36,330		
			Situs: 430 W LOTT	Mtg Cd: DBA:	Prod Mkt: 0	Exemptions:		
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed	Exemptions	Taxable		
CKI	CITY OF KINGSVILLE			36,330	0	36,330		
25571	62637	100.00 R	Geo: 100106501000192	Effective Acres: 0.000000	Imp HS: 0	Market: 72,620		
THE KEEPERS OF THE			ORIG TOWN, BLOCK 65, LOT 1-5, (E X E M P T)		Imp NHS: 63,870	Prod Loss: 0		
LIGHTHOUSE MINISTRIES					Land HS: 0	Appraised: 72,620		
323 W KENEDY				Acres: 0.0000	Land NHS: 8,750	Cap: 0		
KINGSVILLE, TX 78363			State Codes: F1	Map ID: C1	Prod Use: 0	Assessed: 72,620		
			Situs: 323 W KENEDY	Mtg Cd: DBA:	Prod Mkt: 0	Exemptions: EX-XV		
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed	Exemptions	Taxable		
CKI	CITY OF KINGSVILLE			72,620	72,620	0		
19528	57124	100.00 R	Geo: 100106506000192	Effective Acres: 0.000000	Imp HS: 26,650	Market: 42,170		
GOODE JAMES F			ORIG TOWN, BLOCK 65, LOT 6, 7		Imp NHS: 10,900	Prod Loss: 0		
319 W KENEDY					Land HS: 2,310	Appraised: 42,170		
KINGSVILLE, TX 78363				Acres: 0.0000	Land NHS: 2,310	Cap: 558		
			State Codes: A	Map ID: C1	Prod Use: 0	Assessed: 41,612		
			Situs: 319 W KENEDY TX	Mtg Cd: DBA:	Prod Mkt: 0	Exemptions: HS, OV65		
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed	Exemptions	Taxable		
CKI	CITY OF KINGSVILLE			41,612	8,400	33,212		
20320	60563	100.00 R	Geo: 100106508000192	Effective Acres: 0.000000	Imp HS: 0	Market: 84,000		
CUMMINGS JAMES RYAN			ORIG TOWN, BLOCK 65, LOT 8-13		Imp NHS: 73,500	Prod Loss: 0		
PO BOX 1256					Land HS: 0	Appraised: 84,000		
ORANGE GROVE, TX 78372-12				Acres: 0.0000	Land NHS: 10,500	Cap: 0		
			State Codes: A	Map ID: C1	Prod Use: 0	Assessed: 84,000		
			Situs: 315 W KENEDY	Mtg Cd: DBA:	Prod Mkt: 0	Exemptions:		
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed	Exemptions	Taxable		
CKI	CITY OF KINGSVILLE			84,000	0	84,000		
22620	64420	100.00 R	Geo: 100106514000192	Effective Acres: 0.000000	Imp HS: 0	Market: 13,950		
ALVAREZ JUAN			ORIG TOWN, BLOCK 65, LOT 14-16		Imp NHS: 8,700	Prod Loss: 0		
ETUX CYNTHIA					Land HS: 0	Appraised: 13,950		
205 W FAIRVIEW				Acres: 0.0000	Land NHS: 5,250	Cap: 0		
KINGSVILLE, TX 78363			State Codes: A	Map ID: C1	Prod Use: 0	Assessed: 13,950		
			Situs: 311 S 4TH ST TX	Mtg Cd: DBA:	Prod Mkt: 0	Exemptions:		
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed	Exemptions	Taxable		
CKI	CITY OF KINGSVILLE			13,950	0	13,950		
15816	14489	100.00 R	Geo: 100106517000192	Effective Acres: 0.000000	Imp HS: 0	Market: 28,210		
OCHOA EDDIE			ORIG TOWN, BLOCK 65, LOT 17-20		Imp NHS: 24,210	Prod Loss: 0		
ETUX DIANA					Land HS: 0	Appraised: 28,210		
621 E ELLA AVE				Acres: 0.0000	Land NHS: 4,000	Cap: 0		
KINGSVILLE, TX 78363-3951			State Codes: A	Map ID: C1	Prod Use: 0	Assessed: 28,210		
			Situs: 319 S 4TH ST	Mtg Cd: DBA:	Prod Mkt: 0	Exemptions:		
Entity	Description	Xref Id	Freeze: (Year) Ceiling	Assessed	Exemptions	Taxable		
CKI	CITY OF KINGSVILLE			28,210	0	28,210		

KLEBERG COUNTY APPRAISAL DISTRICT
 PROPERTY 22620 R
 Legal Description
 ORIG TOWN, BLOCK 65, LOT 14-16

PROPERTY APPRAISAL INFORMATION 2020
 OWNER ID 64420
 ALVAREZ JUAN
 ETUX CYNTHIA
 205 W FAIRVIEW
 KINGSVILLE, TX 78363
 OWNERSHIP 100.00%

Entities
 CAD 100%
 CKI 100%
 GKL 100%
 SKI 100%
 WST 100%

Values
 IMPROVEMENTS 9,750
 LAND MARKET + 5,250
 MARKET VALUE = 15,000
 PRODUCTIVITY LOSS - 0
 APPRAISED VALUE = 15,000
 HS CAP LOSS - 0
 ASSESSED VALUE = 15,000

100106514000192 Ref ID2: R22620
 Map ID C1

ACRES:

EFF. ACRES:

APPR VAL METHOD: Cost

SITUS 311 S 4TH ST TX

GENERAL

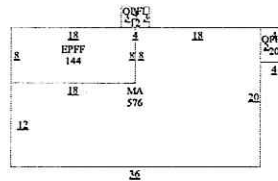
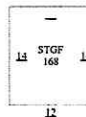
UTILITIES
 TOPOGRAPHY
 ROAD ACCESS
 ZONING
 BUILDER
 NEXT REASON
 REMARKS

LAST APPR. CT
 LAST APPR. YR 2019
 LAST INSP. DATE 02/07/2019
 NEXT INSP. DATE

FOR 2019 UPDATE APPR CHGS BY SCHEDULE
 OR SITE INSP PER CT 2/7/19 3/26/19 JO -- FOR
 '19 REMOVE OPFL & CHG STGA TO STGF PER
 IE 1/24/19 3/11/19 JO -- FOR '16 CHG EFF YR &

SKETCH for Improvement #1 (RESIDENTIAL)

EXEMPTIONS



PICTURE



BUILDING PERMITS

ISSUE DT PERMIT TYPE PERMIT AREA ST PERMIT VAL

SALE DT PRICE GRANTOR DEED INFO
 02/08/2018 ***** MCCOSLIN J R WDLV 313481
 12/06/2017 ***** AVALOS ROSE ANN SBTR 312710
 09/20/2017 ***** AVALOS ROSE ANN PROB 6050

SUBD: S001 100.00% NBHD:

IMPROVEMENT INFORMATION

#	TYPE	DESCRIPTION	MTHD	CLASS/SUBCL	AREA	UNIT PRICE	UNITS	BUILT	EFF YR	COND.	VALUE	DEPR	PHYS	ECON	FUNC	COMP	ADJ	ADJ VALUE
1	MA	MAIN AREA	R	FF2/	576.0	54.78	1	1950	1968	*	31,550	27%	100%	100%	100%	100%	0.27	8,520
	OPFL	OPEN PORCH F	/		20.0	8.22	1	1950	1968	*	160	27%	100%	100%	100%	100%	0.27	40
	EPFF	ENCLOSED POR	/		144.0	21.91	1	1950	1968	*	3,160	27%	100%	100%	100%	100%	0.27	850
	OPFL	OPEN PORCH F	/		12.0	8.22	1	1950	1968	*	100	27%	100%	100%	100%	100%	0.27	30
	STGF	STORAGE FRAM	/		168.0	9.34	1	1950	1968	*	1,570	20%	100%	100%	100%	100%	0.20	310
1.	RESIDENTIAL		STCD: A1		920.0						36,540							9,750

IMPROVEMENT FEATURES

Foundation	1	FD6	0
Exterior Wall	1	EW1	0
Interior Finish	1	IN1	0
Roof Style	1	RM8	0
Flooring	1	FL2	0
Heating/Cooling	1	HA2	0
Plumbing	1	1	0

PRELIMINARY VALUE SUBJECT TO CHANGE

SUBD: S001 100.00% NBHD:

L# DESCRIPTION

CLS TABLE SC HS

1. A1
Comment: F: 75 R: 75 FF

LAND INFORMATION

IRR Wells: 0 Capacity: 0

IRR Acres: 0

Oil Wells: 0

METH	DIMENSIONS	UNIT PRICE	GROSS VALUE	ADJ MASS	ADJ VAL SRC	MKT VAL	AG APPLY	AG CLASS	AG TABLE	AG UNIT PRC	AG VALUE
FF	75X140	70.00	5,250	1.00	1.00 A	5,250	NO			0.00	0
						5,250					0

KLEBERG COUNTY APPRAISAL DISTRICT
 PROPERTY 22620 R
 Legal Description
 ORIG TOWN, BLOCK 65, LOT 14-16

OWNER ID
 64420
 OWNERSHIP
 100.00%

PROPERTY APPRAISAL INFORMATION 2020
 ALVAREZ JUAN
 ETUX CYNTHIA
 205 W FAIRVIEW
 KINGSVILLE, TX 78363

Entities
 CAD 100%
 CKI 100%
 GKL 100%
 SKI 100%
 WST 100%

Values
 IMPROVEMENTS 8,700
 LAND MARKET + 5,250
 MARKET VALUE = 13,950
 PRODUCTIVITY LOSS - 0
 APPRAISED VALUE = 13,950
 HS CAP LOSS - 0
 ASSESSED VALUE = 13,950

100106514000192

Ref ID2: R22620
 Map ID C1

ACRES:
 EFF. ACRES:

APPR VAL METHOD: Cost

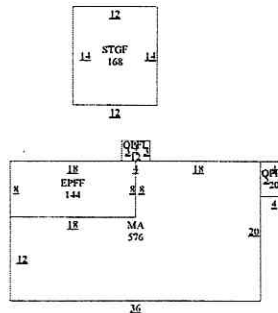
SITUS 311 S 4TH ST TX

GENERAL

UTILITIES LAST APPR. CT
 TOPOGRAPHY LAST APPR. YR 2020
 ROAD ACCESS LAST INSP. DATE 02/11/2020
 ZONING NEXT INSP. DATE
 BUILDER
 NEXT REASON
 REMARKS FOR '20 CHG EFF YR & DEPR % - ADD PHY %
 FOR FIRE DAMAGE PER CT 2/11/20 3/27/20 JO -
 FOR 2019 UPDATE APPR CHGS BY SCHEDULE
 OR SITE INSP PER CT 2/7/19 3/26/19 JO - FOR

SKETCH for Improvement #1 (RESIDENTIAL)

EXEMPTIONS



PICTURE



BUILDING PERMITS
 ISSUE DT PERMIT TYPE PERMIT AREA ST PERMIT VAL

SALE DT PRICE GRANTOR DEED INFO
 02/08/2018 12,500 MCCOSLIN J R WDWL 313481
 12/06/2017 AVALOS ROSE ANN SBTR 312710
 09/20/2017 AVALOS ROSE ANN PROB 6050

SUBD: S001 100.00% NBHD:

IMPROVEMENT INFORMATION

#	TYPE	DESCRIPTION	MTHD	CLASS/SUBCL	AREA	UNIT PRICE	UNITS	BUILT	EFF YR	COND.	VALUE	DEPR	PHYS	ECON	FUNC	COMP	ADJ	ADJ VALUE
1.	RESIDENTIAL	MA MAIN AREA	R	FF2/	576.0	54.78	1	1950	1976	*	31,550	40%	60%	100%	100%	100%	0.24	7,570
		OPFL OPEN PORCH F	R	/	20.0	8.22	1	1950	1976	*	160	40%	60%	100%	100%	100%	0.24	40
		EPFF ENCLOSED POR	R	/	144.0	21.91	1	1950	1976	*	3,160	40%	60%	100%	100%	100%	0.24	760
		OPFL OPEN PORCH F	R	/	12.0	8.22	1	1950	1976	*	100	40%	60%	100%	100%	100%	0.24	20
		STGF STORAGE FRAM	R	/	168.0	9.34	1	1950	1976	*	1,570	20%	100%	100%	100%	100%	0.20	310
					920.0						36,540							8,700

IMPROVEMENT FEATURES

Foundation	1	FD6	0
Exterior Wall	1	EW1	0
Interior Finish	1	IN1	0
Roof Style	1	RM8	0
Flooring	1	FL2	0
Heating/Cooling	1	HA2	0
Plumbing	1	1	0

SUBD: S001 100.00% NBHD:

L#	DESCRIPTION	CLS	TABLE	SC	HS	METH	DIMENSIONS	UNIT PRICE	GROSS VALUE	ADJ MASS	ADJ VAL SRC	IRR Wells: 0	Capacity: 0	IRR Acres: 0	Oil Wells: 0	MKT VAL	AG APPLY	AG CLASS	AG TABLE	AG UNIT PRC	AG VALUE
1.	A1		FF70D140	A1	N	FF	75X140	70.00	5,250	1.00	1.00	A				5,250	NO			0.00	0
																5,250					0

Comment: F: 75 R: 75 FF

Kleberg CAD

Property Search > 22620 ALVAREZ JUAN for Year 2020 - Values not available
2020

Property

Account

Property ID: 22620 Legal Description: ORIG TOWN, BLOCK 65, LOT 14-16
Geographic ID: 100106514000192 Zoning:
Type: Real Agent Code:
Property Use Code:
Property Use Description:

Location

Address: 311 S 4TH ST Mapsco:
TX
Neighborhood: Map ID: C1
Neighborhood CD:

Owner

Name: ALVAREZ JUAN Owner ID: 64420
Mailing Address: ETUX CYNTHIA
205 W FAIRVIEW
KINGSVILLE, TX 78363 % Ownership: 100.0000000000%

Exemptions:

Values

(+) Improvement Homesite Value:	+	N/A	
(+) Improvement Non-Homesite Value:	+	N/A	
(+) Land Homesite Value:	+	N/A	
(+) Land Non-Homesite Value:	+	N/A	Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	N/A	N/A
(+) Timber Market Valuation:	+	N/A	N/A

(=) Market Value:	=	N/A	
(-) Ag or Timber Use Value Reduction:	-	N/A	

(=) Appraised Value:	=	N/A	
(-) HS Cap:	-	N/A	

(=) Assessed Value:	=	N/A	

Taxing Jurisdiction

Owner: ALVAREZ JUAN

% Ownership: 100.000000000000%

Total Value: N/A

Entity	Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax
CKI	CITY OF KINGSVILLE	N/A	N/A	N/A	N/A
SKI	KINGSVILLE I.S.D.	N/A	N/A	N/A	N/A
Total Tax Rate:		N/A			

Taxes w/Current Exemptions: N/A

Taxes w/o Exemptions: N/A

Improvement / Building

Improvement #1: RESIDENTIAL State Code: A1 Living Area: 576.0 sqft Value: N/A

Type	Description	Class CD	Exterior Wall	Year Built	SQFT
MA	MAIN AREA	FF2	EW1	1950	576.0
OPFL	OPEN PORCH FRAME LOW	*		1950	20.0
EPFF	ENCLOSED PORCH FRAME FINISHED	*		1950	144.0
OPFL	OPEN PORCH FRAME LOW	*		1950	12.0
STGF	STORAGE FRAME (FAIR)	*		1950	168.0

Land

#	Type	Description	Acres	Sqft	Eff Front	Eff Depth	Market Value	Prod. Value
1	A1	A1	0.2410	10500.00	75.00	140.00	N/A	N/A

Roll Value History

Year	Improvements	Land Market	Ag Valuation	Appraised	HS Cap	Assessed
2020	N/A	N/A	N/A	N/A	N/A	N/A
2019	\$11,150	\$5,250	0	16,400	\$0	\$16,400
2018	\$7,870	\$5,250	0	13,120	\$0	\$13,120
2017	\$7,870	\$5,250	0	13,120	\$0	\$13,120
2016	\$7,870	\$5,250	0	13,120	\$0	\$13,120
2015	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2014	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2013	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2012	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2011	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2010	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2009	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2008	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2007	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2006	\$7,840	\$5,250	0	13,090	\$0	\$13,090

Questions Please Call (361) 595-5775

Kleberg CAD

Property Search > 22620 ALVAREZ JUAN for Year 2020

Tax Year: 2020

Property

Account

Property ID: 22620 Legal Description: ORIG TOWN, BLOCK 65, LOT 14-16
 Geographic ID: 100106514000192 Zoning:
 Type: Real Agent Code:
 Property Use Code:
 Property Use Description:

Location

Address: 311 S 4TH ST Mapsco:
 TX
 Neighborhood: Map ID: C1
 Neighborhood CD:

Owner

Name: ALVAREZ JUAN Owner ID: 64420
 Mailing Address: ETUX CYNTHIA % Ownership: 100.000000000000%
 205 W FAIRVIEW
 KINGSVILLE, TX 78363

Exemptions:

Values

(+) Improvement Homesite Value:	+	\$0	
(+) Improvement Non-Homesite Value:	+	\$8,700	
(+) Land Homesite Value:	+	\$0	
(+) Land Non-Homesite Value:	+	\$5,250	Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	\$0	\$0
(+) Timber Market Valuation:	+	\$0	\$0
<hr/>			
(=) Market Value:	=	\$13,950	
(-) Ag or Timber Use Value Reduction:	-	\$0	
<hr/>			
(=) Appraised Value:	=	\$13,950	
(-) HS Cap:	-	\$0	
<hr/>			
(=) Assessed Value:	=	\$13,950	

Taxing Jurisdiction

Owner: ALVAREZ JUAN
 % Ownership: 100.000000000000%
 Total Value: \$13,950

Entity	Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax
CAD	KLEBERG COUNTY APPRAISAL DISTRICT	0.000000	\$13,950	\$13,950	\$0.00
CKI	CITY OF KINGSVILLE	0.853040	\$13,950	\$13,950	\$119.00
GKL	KLEBERG COUNTY	0.769500	\$13,950	\$13,950	\$107.35
SKI	KINGSVILLE I.S.D.	1.518900	\$13,950	\$13,950	\$211.88
WST	SOUTH TEXAS WATER AUTHORITY	0.086911	\$13,950	\$13,950	\$12.12

Total Tax Rate:

3.228351

Taxes w/Current Exemptions: \$450.35

Taxes w/o Exemptions: \$450.35

Improvement / Building

Improvement #1: RESIDENTIAL State Code: A1 Living Area: 576.0 sqft Value: \$8,700

Type	Description	Class CD	Exterior Wall	Year Built	SQFT
MA	MAIN AREA	FF2	EW1	1950	576.0
OPFL	OPEN PORCH FRAME LOW	*		1950	20.0
EPFF	ENCLOSED PORCH FRAME FINISHED	*		1950	144.0
OPFL	OPEN PORCH FRAME LOW	*		1950	12.0
STGF	STORAGE FRAME (FAIR)	*		1950	168.0

Land

#	Type	Description	Acres	Sqft	Eff Front	Eff Depth	Market Value	Prod. Value
1	A1	A1	0.2410	10500.00	75.00	140.00	\$5,250	\$0

Roll Value History

Year	Improvements	Land Market	Ag Valuation	Appraised	HS Cap	Assessed
2020	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2019	\$11,150	\$5,250	0	16,400	\$0	\$16,400
2018	\$7,870	\$5,250	0	13,120	\$0	\$13,120
2017	\$7,870	\$5,250	0	13,120	\$0	\$13,120
2016	\$7,870	\$5,250	0	13,120	\$0	\$13,120
2015	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2014	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2013	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2012	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2011	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2010	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2009	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2008	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2007	\$8,700	\$5,250	0	13,950	\$0	\$13,950
2006	\$7,840	\$5,250	0	13,090	\$0	\$13,090

Deed History - (Last 3 Deed Transactions)

#	Deed Date	Type	Description	Grantor	Grantee	Volume	Page	Deed Number
1	2/8/2018	WDVL	WARRANTY DEED W/VENDOR'S LEIN	MCCOSLIN J R	ALVAREZ JUAN			313481
2	12/6/2017	SBTR	SUBSTITUTE TRUSTEE'S DEED	AVALOS ROSE ANN R EST	MCCOSLIN J R			312710
3	9/20/2017	PROB	PROBATE	AVALOS ROSE ANN R EST	AVALOS ROSE ANN R EST			6050

Tax Due

Property Tax Information as of 08/06/2020

Amount Due if Paid on:

Year	Taxing Jurisdiction	Taxable Value	Base Tax	Base Taxes Paid	Base Tax Due	Discount / Penalty & Interest	Attorney Fees	Amount Due
------	---------------------	---------------	----------	-----------------	--------------	-------------------------------	---------------	------------

NOTE: Penalty & Interest accrues every month on the unpaid tax and is added to the balance. Attorney fees may also increase your tax liability if not paid by July 1. If you plan to submit payment on a future date, make sure you enter the date and RECALCULATE to obtain the correct total amount due.

Questions Please Call (361) 595-5775

Website version: 1.2.2 31

Database last updated on: 3/5/2020 3:17 PM

© N. Harris Computer Corporation

Property Search > 22620 ALVAREZ JUAN For Year 2021 Tax Year: 2021 - Values not available

Property

Account

Property ID: 22620 Legal Description: ORIG TOWN, BLOCK 65, LOT 14-16
 Geographic ID: 100106514000192 Zoning:
 Type: Real Agent Code:
 Property Use Code:
 Property Use Description:

Location

Address: 311 S 4TH ST TX Mapsco:
 Neighborhood: Map ID: C1
 Neighborhood CD:

Owner

Name: ALVAREZ JUAN Owner ID: 64420
 Mailing Address: ETUX CYNTHIA % Ownership: 100.000000000000%
 205 W FAIRVIEW
 KINGSVILLE, TX 78363
 Exemptions:

Values

(+) Improvement Homesite Value:	+	N/A	
(+) Improvement Non-Homesite Value:	+	N/A	
(+) Land Homesite Value:	+	N/A	
(+) Land Non-Homesite Value:	+	N/A	Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	N/A	N/A
(+) Timber Market Valuation:	+	N/A	N/A
<hr/>			
(=) Market Value:	=	N/A	
(-) Ag or Timber Use Value Reduction:	-	N/A	
<hr/>			
(=) Appraised Value:	=	N/A	
(-) HS Cap:	-	N/A	
<hr/>			
(=) Assessed Value:	=	N/A	

Legal Jurisdiction

Improvement Details

Improvement #1: RESIDENTIAL State Code: A1 Living Area: 576.0 sqft Value: N/A

STATEMENT OF ALL TAXES DUE

ACCT # 1-001-065-14000-192

DATE 02/05/2020

SD



MELISSA T DELAGARZA, PCC
P O BOX 1457
KINGSVILLE, TX 78364-1457
(361) 595-8542

Item #2.

Property Description			
ORIG TOWN, BLOCK 65, LOT 14-16		PROP TYPE-A1A1	
		PCT OWNER-	
TOWN	-	LOCATION-	311 S 4TH ST
ACRES	-		.241

Values			
LAND MKT VALUE	5,250	IMPR/PERS MKT VAL	11,150
LAND AGR VALUE		MKT. BEFORE EXEMP	16,400
EXEMPTIONS GRANTED:	NONE	LIMITED TXBL. VAL	

ALVAREZ JUAN
ETUX CYNTHIA
205 W FAIRVIEW

KINGSVILLE TX 78363

TAXES 2019	LEVY	P&I	ATTY FEES	AMT DUE
	.00	.00	.00	.00
	-----	-----	-----	-----
	.00	.00	.00	.00
				=====
		TOTAL DUE 02/2020		.00
		TOTAL DUE 03/2020		.00
		TOTAL DUE 04/2020		.00
		TOTAL DUE 05/2020		.00

ACCT # 1-001-065-14000-192

BREAKDOWN OF TAX DUE BY JURISDICTION				
JURISDICTION	LEVY	P&I	ATT FEES	TOTAL
KLEBERG COUNTY	.00	.00	.00	.00
CITY OF KINGSVILLE	.00	.00	.00	.00
KINGSVILLE ISD	.00	.00	.00	.00
SOUTH TX WATER AUTH	.00	.00	.00	.00

TAX LEVY FOR THE CURRENT ROLL YEAR: 137	126.20
TAX LEVY FOR THE CURRENT ROLL YEAR: CITY	139.90
TAX LEVY FOR THE CURRENT ROLL YEAR: KISD	249.10
TAX LEVY FOR THE CURRENT ROLL YEAR: STWA	14.25
TOTAL TAX LEVY FOR THE CURRENT ROLL YEAR	529.45

YOU MAY PAY YOUR TAXES ONLINE AT www.texasonline.com
A PROCESSING FEE OF 2.95% WILL BE APPLIED TO CREDIT CARD PAYMENTS

STATEMENT OF ALL TAXES DUE

ACCT # 1-001-065-14000-192

DATE 03/18/2021

JL



MARIA V. VALADEZ, TAC
P O BOX 1457
KINGSVILLE, TX 78364-1457
(361) 595-8542

Property Description			
ORIG TOWN, BLOCK 65, LOT 14-16		PROP TYPE-A1A1	
		PCT OWNER-	
TOWN -		LOCATION-	311 S 4TH ST
ACRES -	.241		

Values			
LAND MKT VALUE	5,250	IMPR/PERS MKT VAL	8,700
LAND AGR VALUE		MKT. BEFORE EXEMP	13,950
EXEMPTIONS GRANTED:	NONE	LIMITED TXBL. VAL	

ALVAREZ JUAN
ETUX CYNTHIA
205 W FAIRVIEW

KINGSVILLE TX 78363

TAXES 2020	LEVY	P&I	ATTY FEES	AMT DUE
	.00	.00	.00	.00
	.00	.00	.00	.00
				=====
		TOTAL DUE 03/2021		.00
		TOTAL DUE 04/2021		.00
		TOTAL DUE 05/2021		.00
		TOTAL DUE 06/2021		.00

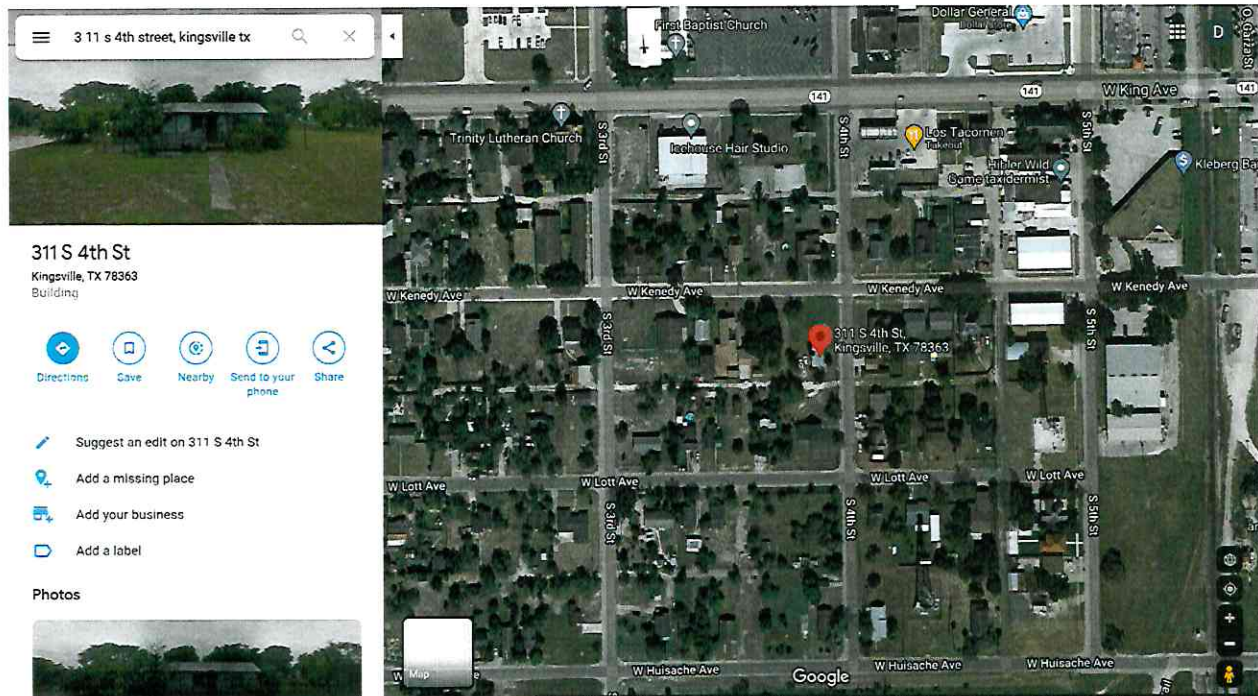
ACCT # 1-001-065-14000-192

BREAKDOWN OF TAX DUE BY JURISDICTION				
JURISDICTION	LEVY	P&I	ATT FEES	TOTAL
KLEBERG COUNTY	.00	.00	.00	.00
CITY OF KINGSVILLE	.00	.00	.00	.00
KINGSVILLE ISD	.00	.00	.00	.00
SOUTH TX WATER AUTH	.00	.00	.00	.00

TAX LEVY FOR THE CURRENT ROLL YEAR: 137	109.57
TAX LEVY FOR THE CURRENT ROLL YEAR: CITY	118.87
TAX LEVY FOR THE CURRENT ROLL YEAR: KISD	211.89
TAX LEVY FOR THE CURRENT ROLL YEAR: STWA	12.12
TOTAL TAX LEVY FOR THE CURRENT ROLL YEAR	452.45

YOU MAY PAY YOUR TAXES ONLINE AT www.texasonline.com
A PROCESSING FEE OF 2.95% WILL BE APPLIED TO CREDIT CARD PAYMENTS

House location: 311 South 4th Street: West of the railroad, south of King Avenue, at the corner of West Kennedy and South 4th Street.



P.O. BOX 1458 - KINGSVILLE, TEXAS 78364

JANUARY 29, 2020

JUAN ALVAREZ AND CYNTHIA ALVAREZ
205 W FAIRVIEW
KINGSVILLE, TX 78363

Re: ORIG TOWN, BLOCK 65, LOT 14-16 311 S 4TH ST

Dear Sir or Madam:

It has been determined that the structure at **311 S 4TH** is in a significant state of disrepair and creates a safety and health hazard to the surrounding area and the community at large. The structure is in direct violation to the City of Kingsville's Code of Ordinance § 15-1-165 Condemned Building or Structure; Specifications as adopted and as stated below.

§ 15-1-165 CONDEMNED BUILDING OR STRUCTURE; SPECIFICATIONS.

(A) Any building or structure of any type of material, whether public or private property, existing within the city limits, which is determined to be unsafe for or dangerous to human occupancy, shall be declared and be and become a condemned building or structure.

(B) The condemned buildings or structures mentioned in division (A) shall be determined to be such under the following listed terms and conditions:

(1) Any building or structure which, for want of repair or by reason of age or dilapidated condition, or for any causes, is especially liable to fire, and which is so situated as to endanger other buildings or property, or so occupied that fire would endanger persons or property therein.

(2) Any building or other structure which shall be determined to have a permanent or temporary plumbing condition existing in violation of the installation, maintenance and repair provisions of the City Plumbing Code presently duly enacted or to be duly enacted from time to time, and which shall be further determined, by virtue of such condition in violation of the provisions of the Plumbing Code to endanger the safety of the building or structure or other buildings or structures or other property, and to endanger the safety and health of persons who may have occasion to occupy and/or be in, on or about the premises, whether they be the owner thereof or not.

(3) Any building or other structure which shall be determined to have a permanent or temporary electrical installation condition existing in violation of the installation, maintenance or repair provisions of the City Electrical Code as it is presently duly enacted or may be enacted from time to time, and which shall be further determined, by virtue of such condition in violation of the provisions of the Electrical Code to endanger

the safety of the building or structure or other buildings or structures or other property, and to endanger the safety and health of persons who may have occasion to occupy and/or be in, on or about the premises, whether they be the owner thereof or not.

(4) Any building or structure which shall be determined to contain a faulty and defective structural condition existing in violation of the construction, maintenance and repair provisions of the City Building Code as is presently duly enacted or may be enacted from time to time, and which shall be further determined, by virtue of such condition in violation of the Building Code to endanger the safety of the building or structure or other buildings or structures or other property, and to endanger the safety and health of persons who may have occasion to occupy and/or be in, on or about the premises, whether they be the owner thereof or not.

(5) Any building or structure which shall be determined to have a permanent or temporary sanitary condition existing in violation of the various health and sanitation ordinances duly enacted and to be enacted from time to time, and which shall be further determined, by virtue of such condition in violation of the provisions of the sanitation ordinances to endanger the safety of the building or structure or other buildings or structures or other property, and to endanger the safety and health of persons who may have occasion to occupy and/or be in, on or about the premises, whether they be the owner thereof or not.

('62 Code, § 4-6-1)

AN INVESTIGATION HAS BEEN CONDUCTED ON THESE PREMISES FOR NON-COMPLIANCE WITH CITY ORDINANCES. YOU ARE HEREBY NOTIFIED THAT THE VIOLATIONS LISTED MUST BE CORRECTED WITHIN THIRTY (30) CALENDAR DAYS FROM RECEIPT THIS LETTER. PLEASE REFER TO THE ENCLOSED PROPERTY CONDITION REPORT REGARDING THE SPECIFIC VIOLATIONS REQUIRING CORRECTIVE ACTION.

WE MUST RECEIVE WRITTEN RESPONSE FROM YOU WITHIN TEN (10) DAYS FROM THIS NOTICE INDICATING THE ACTION YOU INTEND TO TAKE WITHIN THE NEXT THIRTY (30) DAYS TO CORRECT SUBSTANDARD CONDITIONS.

If these violations are not mitigated within thirty (30) calendar days of the date of this letter, a condemnation will be processed through City Commission. If you should commit another violation of the same kind or nature that poses a danger to the public health and safety on or before the first anniversary of the date of the notice, the city without further notice may correct the violation at the owner's expense and assess the expense against the property.

Please provide proof of necessary permits and "passed" inspections for all reconstruction and/or repairs. Provide proof of proper disposal, i.e. landfill receipt or method used to remediate the condemned structure.

If you need further information or have questions, please contact me at (361) 595-8019, Monday through Friday from 8:00 AM – 12:00 PM & 1:00 PM - 5:00 P.M.

Sincerely,

A handwritten signature in black ink, appearing to read 'Albert Vilches', written over a horizontal line.

Albert Vilches
Building Official

P.O. BOX 1458 - KINGSVILLE, TEXAS 78364

MARCH 15, 2021

JUAN ALVAREZ AND CYNTHIA ALVAREZ
205 W FAIRVIEW
KINGSVILLE, TX 78363

Re: ORIG TOWN, BLOCK 65, LOT 14-16

311 S 4TH

Dear Sir or Madam:

It has been determined that the structure at **311 S 4TH** is in a significant state of disrepair and creates a safety and health hazard to the surrounding area and the community at large. The structure is in direct violation to the City of Kingsville's Code of Ordinance § 15-1-165 Condemned Building or Structure; Specifications as adopted and as stated below.

§ 15-1-165 CONDEMNED BUILDING OR STRUCTURE; SPECIFICATIONS.

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(B) The condemned buildings or structures mentioned in division (A) shall be determined to be such under the following listed terms and conditions:

(1) Any building or structure which, for want of repair or by reason of age or dilapidated condition, or for any causes, is especially liable to fire, and which is so situated as to endanger other buildings or property, or so occupied that fire would endanger persons or property therein.

(2) Any building or other structure which shall be determined to have a permanent or temporary plumbing condition existing in violation of the installation, maintenance and repair provisions of the City Plumbing Code presently duly enacted or to be duly enacted from time to time, and which shall be further determined, by virtue of such condition in violation of the provisions of the Plumbing Code to endanger the safety of the building or structure or other buildings or structures or other property, and to endanger the safety and health of persons who may have occasion to occupy and/or be in, on or about the premises, whether they be the owner thereof or not.

(3) Any building or other structure which shall be determined to have a permanent or temporary electrical installation condition existing in violation of the installation, maintenance or repair provisions of the City Electrical Code as it is presently duly enacted or may be enacted from time to time, and which shall be further determined, by virtue of such condition in violation of the provisions of the Electrical Code to endanger the safety of the building or structure or other buildings or structures or other property,

and to endanger the safety and health of persons who may have occasion to occupy and/or be in, on or about the premises, whether they be the owner thereof or not.

(4) Any building or structure which shall be determined to contain a faulty and defective structural condition existing in violation of the construction, maintenance and repair provisions of the City Building Code as is presently duly enacted or may be enacted from time to time, and which shall be further determined, by virtue of such condition in violation of the Building Code to endanger the safety of the building or structure or other buildings or structures or other property, and to endanger the safety and health of persons who may have occasion to occupy and/or be in, on or about the premises, whether they be the owner thereof or not.

(5) Any building or structure which shall be determined to have a permanent or temporary sanitary condition existing in violation of the various health and sanitation ordinances duly enacted and to be enacted from time to time, and which shall be further determined, by virtue of such condition in violation of the provisions of the sanitation ordinances to endanger the safety of the building or structure or other buildings or structures or other property, and to endanger the safety and health of persons who may have occasion to occupy and/or be in, on or about the premises, whether they be the owner thereof or not.

('62 Code, § 4-6-1)

AN INVESTIGATION HAS BEEN CONDUCTED ON THESE PREMISES FOR NON-COMPLIANCE WITH CITY ORDINANCES. YOU ARE HEREBY NOTIFIED THAT THE VIOLATIONS LISTED MUST BE CORRECTED WITHIN THIRTY (30) CALENDAR DAYS FROM RECEIPT THIS LETTER. PLEASE REFER TO THE ENCLOSED PROPERTY CONDITION REPORT REGARDING THE SPECIFIC VIOLATIONS REQUIRING CORRECTIVE ACTION.

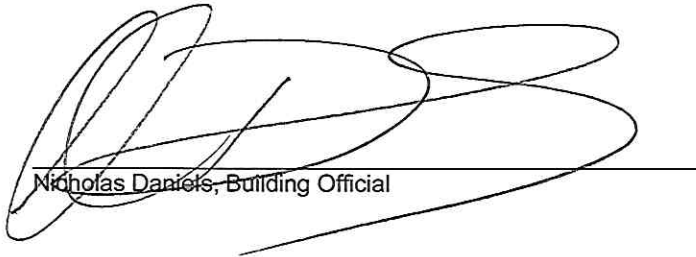
WE MUST RECEIVE WRITTEN RESPONSE FROM YOU WITHIN TEN (10) DAYS FROM THIS NOTICE INDICATING THE ACTION YOU INTEND TO TAKE WITHIN THE NEXT THIRTY (30) DAYS TO CORRECT SUBSTANDARD CONDITIONS.

If these violations are not mitigated within thirty (30) calendar days of the date of this letter, a condemnation will be processed through City Commission. If you should commit another violation of the same kind or nature that poses a danger to the public health and safety on or before the first anniversary of the date of the notice, the city without further notice may correct the violation at the owner's expense and assess the expense against the property.

Please provide proof of necessary permits and "passed" inspections for all reconstruction and/or repairs. Provide proof of proper disposal, i.e. landfill receipt or method used to remediate the condemned structure.

If you need further information or have questions, please contact me at (361) 595-8019, Monday through Friday from 8:00 AM – 12:00 PM & 1:00 PM - 5:00 P.M.

Sincerely,



Nicholas Daniels, Building Official



Track Another Package +

Tracking Number: 70111570000338332756

Remove X

Your item was delivered to an individual at the address at 10:26 am on April 22, 2021 in KINGSVILLE, TX 78363.

Delivered, Left with Individual

April 22, 2021 at 10:26 am
KINGSVILLE, TX 78363

Feedback

Get Updates v

Text & Email Updates	v
Tracking History	v
Product Information	v

See Less ^

Can't find what you're looking for?

Go to our FAQs section to find answers to your tracking questions.

Item #2.

FAQs

Feedback

USPS Tracking®

Track Another Package +

Tracking Number: 70111570000338332756

Remove X

Your item was delivered to an individual at the address at 10:26 am on April 22, 2021 in KINGSVILLE, TX 78363.

✓ Delivered, Left with Individual

April 22, 2021 at 10:26 am
KINGSVILLE, TX 78363

Feedback

Get Updates ✓

Text & Email Updates



Tracking History



April 22, 2021, 10:26 am

Delivered, Left with Individual

KINGSVILLE, TX 78363

Your item was delivered to an individual at the address at 10:26 am on April 22, 2021 in KINGSVILLE, TX 78363.

April 21, 2021, 11:26 pm

Departed USPS Regional Facility

CORPUS CHRISTI TX DISTRIBUTION CENTER

April 21, 2021, 7:43 pm

Arrived at USPS Regional Facility

CORPUS CHRISTI TX DISTRIBUTION CENTER

Item #2.

Product Information

**See Less** ^

Can't find what you're looking for?

Go to our FAQs section to find answers to your tracking questions.

FAQs

Feedback

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
 ■ Print your name and address on the reverse so that we can return the card to you.
 ■ Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Juan Alvarez
Cynthia Alvarez
805 Fairview
Kingsville TX 78363



9590 9402 4205 8121 3446 82

2. Article Number (Transfer from service label)

7011 1570 0003 3833 2756

PS Form 3811, July 2015 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature ☒ Agent ☐ Addressee
 B. Received by (Printed Name) *C-19* C. Date of Delivery *4-22*
 D. Is delivery address different from item 1? ☐ Yes ☒ No
 If YES, enter delivery address below:

3. Service Type
☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery
☐ Mail
☐ Mail Restricted Delivery
☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricted Delivery
☐ Return Receipt for Merchandise
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
 ■ Print your name and address on the reverse so that we can return the card to you.
 ■ Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Juan Alvarez
Cynthia Alvarez
805 W Fairview
Kingsville TX 78363



9590 9402 4205 8121 3446 13

2. Article Number (Transfer from service label)

7011 1570 0003 3833 2723

COMPLETE THIS SECTION ON DELIVERY

A. Signature ☒ Agent ☐ Addressee
 B. Received by (Printed Name) *E. M. ALVAREZ* C. Date of Delivery *3-24-21*
 D. Is delivery address different from item 1? ☐ Yes ☐ No
 If YES, enter delivery address below:

3. Service Type
☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery
☐ Mail
☐ Mail Restricted Delivery
☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricted Delivery
☐ Return Receipt for Merchandise
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

PUBLIC NOTICE

The City Commission will meet on Monday, May 24, 2021 at 5:00 P.M. The following items are set for public hearing and discussion and / or action:

Request to condemn the unsafe structures located at:

627 E AVE D
201 S US HWY 77
816 S 2ND
311 S 4TH
123 N 2ND

If you are the property owner, holder of mortgage(s), or anyone having a substantial interest in any these properties, we would request that you attend the meeting. The meeting will be held at City Hall, 400 West King, at the Helen Kleberg Groves Community Room.

If you have any questions about the items on agenda, please contact the Building Department at (361) 595-8019 or (361) 595-8020.

311 S. 4th St.

CITY OF KINGSVILLE, TEXAS

NOTICE

Inspection Of This Structure Reveals That It Is Not In Compliance
With The Minimum Requirements Of The Building Code Of The
City Of Kingsville.

OCCUPANCY OF THIS STRUCTURE IS PROHIBITED
UNTIL ALL REQUIREMENTS OF THIS CODE ARE MET.

BY ORDER OF ADMINISTRATOR- BUILDING DEPARTMENT

DEACEMMENT OR REMOVAL of this Notice, or any repairs and/or
alterations of this structure- without express permission of the
BUILDING DEPARTMENT, CITY OF KINGSVILLE- constitutes a
misdemeanor and is punishable by a fine of Two Hundred (\$200.00)
Dollars.

CONTACT THE Building Department RELATIVE TO THE
REQUIRED WORK AND PERMIT APPLICATIONS.

410 W KING
Telephone: (361) 993-8019

DATE 1-13-2020 BY ME

01/13/2020 17:03

01/13/2020 17:04

01/13/2020 15:40



01/13/2020 15:41

01/13/2020 15:40

01/13/2020 15:40

01/13/2020 15:41

01/13/2020 15:42

01/13/2020 15:43

01/13/2020 15:40



01/13/2020 15:39



01/13/2020 15:39

01/13/2020 15:39

311 S 4th

CITY OF KINGSVILLE, TEXAS

NOTICE

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With The Minimum Requirements Of The Building Code Of The
City Of Kingsville

OCCUPANCY OF THIS STRUCTURE IS PROHIBITED
UNTIL ALL REQUIREMENTS OF THIS CODE ARE MET

BY ORDER OF: ADMINISTRATOR - BUILDING DEPARTMENT

DEFACEMENT OR REMOVAL of this Notice, or any repairs and/or
alterations of this structure- without express permission of the
BUILDING DEPARTMENT, CITY OF KINGSVILLE- constitutes a
misdemeanor and is punishable by a fine of Two Hundred (\$200.00)
Dollars.

CONTACT THE Building Department RELATIVE TO THE
REQUIRED WORK AND PERMIT APPLICATIONS

410 W KING
Telephone: (361) 595.8010

DATE: 2-24-2021 BY: *mje*

02/23/2021 23:29

02/23/2021 23:30





02/23/2021 23:29

02/23/2021 23:29

02/23/2021 23:29



02/23/2021 23:29

04/21/2021 02:36

NOTICE

CITY OF KINGSVILLE, TEXAS

THIS NOTICE IS TO ADVISE PROPERTY OWNERS THAT
THE CITY COUNCIL WILL CONSIDER CONDEMNATION
OF 311 S 4th
ON: May 24 2021

BY ORDER OF: BUILDING OFFICIAL

DEFAACEMENT OR REMOVAL of this Notice, or any repairs and/or
alterations of this structure—without express permission of the
BUILDING DEPARTMENT, CITY OF KINGSVILLE—constitutes a
misdemeanor and is punishable by a fine of Two Hundred (\$200.00)
Dollars.

CONTACT The Building Department at
410 W KING
Telephone: (361) 695-8019

DATE: 4/20/2021 BY: [Signature]



04/21/2021 02:37



04/21/2021 02:36

04/21/2021 02:36



04/21/2021 02:37



04/21/2021 02:37

CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: May 19, 2021
TO: Historic Development Board
FROM: Brenda Joyas, CNU-A (Downtown Manager/HPO)
SUBJECT: Discuss and Consider Action on placing a portable storage building in the back yard of the house on Orig Town, Block 72, Lot 27, 28 also known as 512 East Huisache.
APPLICANT: Richard W. Butler, Owner
CONTRACTOR: Stor-Mor Portable Buildings

REQUEST

Discuss and Consider Action on placing a portable storage building in the back yard of the house on Orig Town, Block 72, Lot 27, 28 also known as 512 East Huisache.

EXHIBITS

Application, Kleberg County property card, treated engineered wood description, Structural engineered design plans, color palette, pictures of property, site plan.

BACKGROUND & PERTINENT DATA

Owner would like to place a portable storage building measuring 10 X 14 behind his home in the backyard. Materials used will be treated lumber and asphalt shingles for the roof. Colors are Cape Cod Gray for building with an avocado trim, and Driftwood color shingles. The location of the portable storage shed is placed directly behind the home and view of the structure is concealed by the home from the street. The home has a 6 foot privacy fence around the property line making it hard to see from public view.

STAFF REVIEW & RECOMMENDATION

Staff believes the portable storage building does not alter the general historic, cultural, and architectural nature of the home or the district and recommends approval.

BOARD REVIEW

Scope of Historical Development Board

In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

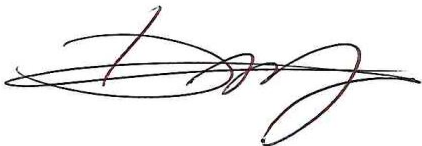
- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.
- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.

- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.
- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Brenda Joyas, CNU-A
Downtown Manager/HPO

Historical Development Board Review Application

Item #3.

Applicant: Richard W. Butler

Address: 512 E. Huisache

Contact: Cell: 361-455-3293 Home: _____

Email: Liam2542@gmail.com

Property Owner: Richard William Butler

Address: 512 E Huisache

Contact: Cell: 361-455-3293 Home: _____

Property Location and Description: 512 E. Huisache

Description of Work: 1' Shed (Prebuilt)

Cape Cod grey w/ a trim of avocado

Driftwood color roofing

Contractor: Premier Portable Bldgs (Danielle)

Contact: ~~Cell~~: 361-701-1178 Home: _____

Email: _____

Documents Required:

1. Sketch, Drawing, Plans, Site Plans, Mock-ups
2. Photographs (Historic, Current, Surrounding Structures)
3. Materials List or Samples
4. Proof of Ownership
5. Letter of Representation and Work Approval from Property Owner (If Applicable)

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: Richard William Butler

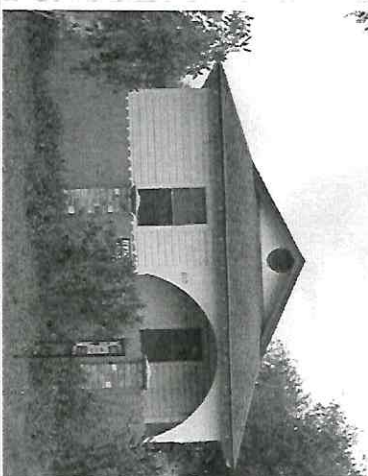
Signature: [Signature] Date: 4-30-21

ASSESSED VALUE = 41,080

EXEMPTIONS

DP	DISABILITY
HS	HOMESTEAD

PICTURE

[illegible]

IMPROVEMENT INFORMATION

IMPROVEMENT FEATURES

IMPROVEMENT INFORMATION										
BUILT	EFF YR	COND.	VALUE	DEPR	PHYS	ECON	EUNG	COMP	ADJ	ADJ VALUE
1945	1994	*	42,830	73%	100%	100%	100%	100%	0.73	31,270
2012	1994	*	860	73%	100%	100%	100%	100%	0.73	630
1945	1994	*	480	73%	100%	100%	100%	100%	0.73	350
1945	1879	*	2,430	45%	100%	100%	100%	100%	0.45	1,080
2012	2012	*	380	30%	100%	100%	100%	100%	0.30	110
2012	1994	*	4,280	73%	100%	100%	100%	100%	0.73	3,130
			51,260							36,580
Σ Y(1/100%)										

Foundation	1	FD6	0
Exterior Wall	1	EW6	0
Interior Finish	1	IN1	0
Roof Style	RT2	RM1	0
Flooring	1	FL2	0
Plumbing	1	1	0
Number of Bedrooms	1	2	0

4,500

It's **NOT** Particle Board. It's **NOT** Waferboard. It's **NOT** Chipboard.

It's Simply A Better Choice For Your Outdoor Building!

Treated For Everyday Durability

LP® SmartSide® products are not made of wafer, chip or particle board. In fact, our engineered wood products are made with our Treated Wood Strand Technology so you can rest assured your structure will provide years of beautiful service!

Extra Protection, Tested Tough

All LP SmartSide products are treated with our proprietary SmartGuard® process to resist fungal decay and termites in harsh environments. Tested in Hilo, Hawaii, LP SmartSide products continue to resist structural damage, even after years of exposure to thriving termite colonies and excessive moisture!



Beauty That's Worth A Second Look

It takes only one look to notice the rich cedar grain texture and undeniable beauty of LP SmartSide products when compared to typical pine siding. It's a premium choice that gives your outdoor structure an attractive custom-built look!



Ask a Sales Associate about outdoor building solutions built with innovative LP SmartSide products. For more information, visit LPShed.com

A Warranty That Protects Your Peace Of Mind

All LP SmartSide products feature a 5/50 year limited warranty, one of the best warranties in the industry. You can feel confident that you have made a better choice for lasting durability and beauty.



- 5-year, 100% labor and replacement feature*
- 50-year prorated, limited warranty on substrate*

	LP SmartSide Panel	Untreated Particle Board Waferboard Chipboard
TREATED ORIENTED STRAND TECHNOLOGY	✓	NO
COMPREHENSIVE 5/50-YEAR LIMITED WARRANTY*	✓	NO
RESISTS FUNGAL ROT AND DECAY	✓	NO
RESISTS TERMITES	✓	NO
RESISTS DELAMINATION	✓	NO
RESIST SPLITTING AND CRACKING	✓	NO
RESISTS WARPING	✓	NO
RICH CEDAR GRAIN TEXTURE	✓	NO

*See LPShed.com for complete warranty details.

BE SHED SMART. BUY LP.®

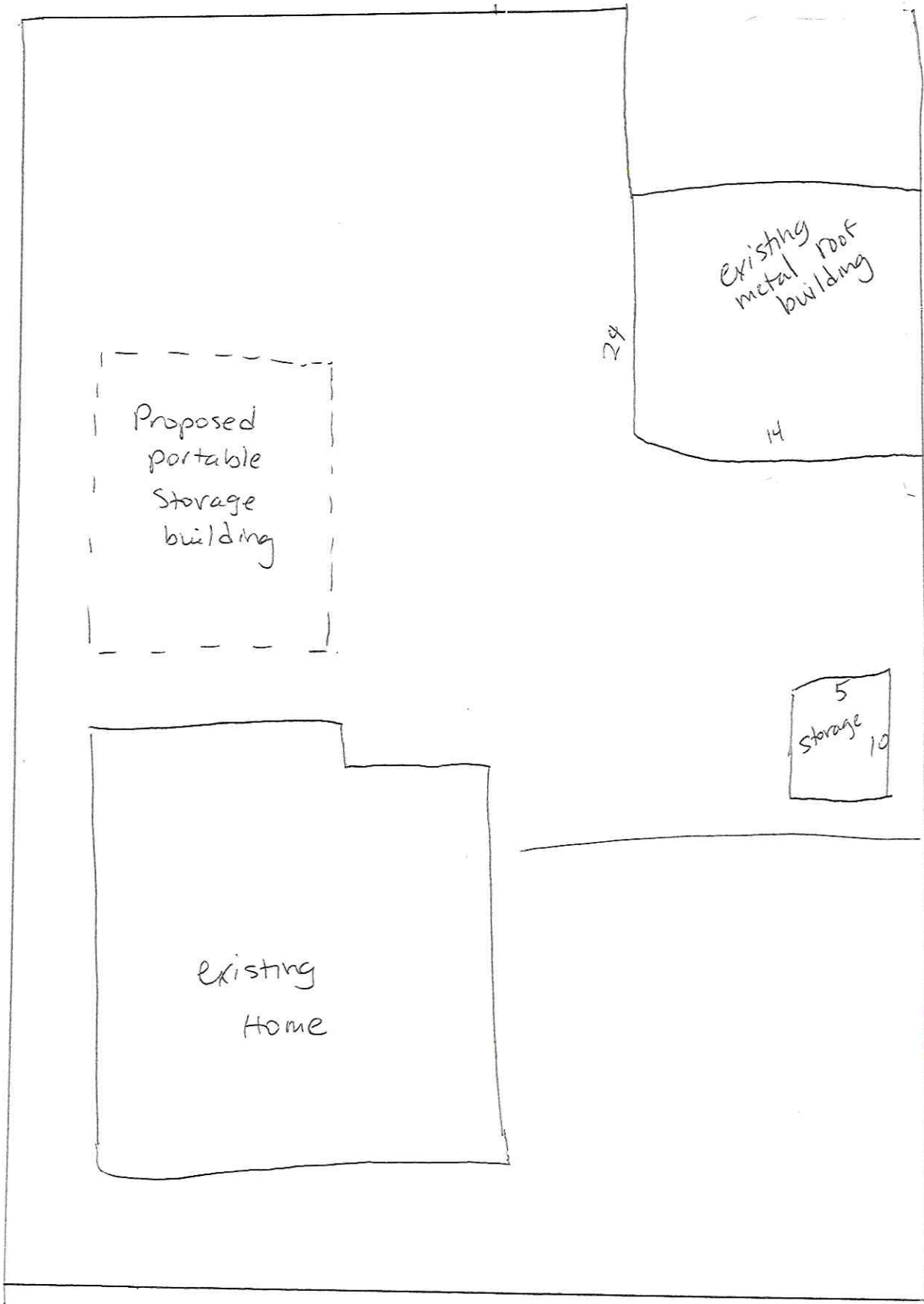
LP OUTDOOR BUILDING SOLUTIONS®

WARNING: Drilling, sawing, sanding or machining wood products can expose you to wood dust, a substance known to the State of California to cause cancer. Avoid inhaling wood dust or use a dust mask or other safeguards for personal protection. For more information go to www.P65Warnings.ca.gov/wood.

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Alley



Private Home

Private Home

E. Huisache

STRUCTURAL DESIGN PLANS FOR:

UTILITY SHED PLANS
130 MPH
PLAN: STATE OF TEXAS
PSE PROJECT NUMBER: 15-0339

PREPARED FOR:

PREMIER PORTABLE BUILDINGS
120 BRETT CHASE, SUITE C
PADUCAH, KY 42003

PREPARED BY:

PARAGON
STRUCTURAL ENGINEERING LTD

6404 INTERNATIONAL PKWY
SUITE 1800
PLANO, TEXAS 75093
T: 469.892.7520 F: 469.892.7521
INFO@PSEGLOBAL.COM
TX FIRM REGISTRATION NO.: F-9163

INDEX OF SHEETS

SHEET NO.	DESCRIPTION	VERSION	DATE
S 1.0	COVER SHEET	D1R1	11-13-2015
S 2.0	FASTENING CHART & NOTES	D1R1	11-13-2015
S 3.0	WIND LOADING	D1	09-11-2015
S 4.0	FLOOR FRAMING PLANS	D1R1	11-13-2015
S 5.0	FLOOR DECK PLANS & ELEVATIONS	D1	09-11-2015
S 6.0	ENDWALL FRAMING	D1	09-11-2015
S 7.0	ENDWALL FRAMING	D1	09-11-2015
S 8.0	ENDWALL FRAMING	D1	09-11-2015
S 9.0	ENDWALL FRAMING	D1	09-11-2015
S 10.0	ENDWALL FRAMING	D1	09-11-2015
S 11.0	SIDEWALL SECTION & SHEARWALL CHART	D1	09-11-2015
S 12.0	DETAILS	D1	09-11-2015
S 13.0	DETAILS	D1R1	11-13-2015
S 14.0	HEADER DETAILS	D1	09-11-2015
S 15.0	OPTIONAL PORCH EXTERIOR ELEVATIONS	D1	09-11-2015
S 16.0	OPTIONAL PORCH SECTIONS	D1R1	11-13-2015
S 17.0	OPTIONAL PORCH & HEADER DETAILS	D1	09-11-2015
S 18.0	OPTIONAL PORCH PLANS	D1	09-11-2015

USE AND OVERSEER OF PLANS AND DOCUMENTS
THIS SET OF PLANS AND DOCUMENTS IS THE PROPERTY OF PARAGON STRUCTURAL ENGINEERING LTD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE, MODIFICATION, OR ALTERATION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF PARAGON STRUCTURAL ENGINEERING LTD. IS PROHIBITED. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE APPROPRIATE AGENCIES. PARAGON STRUCTURAL ENGINEERING LTD. ACCEPTS NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THESE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE APPROPRIATE AGENCIES. PARAGON STRUCTURAL ENGINEERING LTD. ACCEPTS NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THESE PLANS.

DATE: 11-13-2015
DRAWN BY: J. L. LEE
CHECKED BY: J. L. LEE
PROJECT: 15-0339-D1R1

PROJECT: PREMIER PORTABLE BUILDINGS
UTILITY SHED PLANS
BUILT BY MENNONITE CRAFTSMAN
130 MPH
PLAN: STATE OF TEXAS

PARAGON
STRUCTURAL ENGINEERING LTD
6404 INTERNATIONAL PKWY
SUITE 1800
PLANO, TEXAS 75093
T: 469.892.7520 F: 469.892.7521
INFO@PSEGLOBAL.COM
TX FIRM REGISTRATION NO.: F-9163

TITLE: COVER SHEET
SCALE: AS NOTED
DATE: 11-13-2015
PROJECT: 15-0339-D1R1

SITE INSTALLED ITEMS:

NOTE THAT THIS LIST DOES NOT NECESSARILY LIST THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A

GENERAL NOTES:

SUPPLEMENTAL STANDARDS

WIND VELOCITY	BUILDING CATEGORY	1
---------------	-------------------	---

ROOF DESIGN DEAD LOAD
ROOF DESIGN DEAD LOAD
7 PSF
20 PSF

RAFTERS, RIDGES, HIPs, VALLEYS:
NO. 2 SPRUCE-PINE-RM (SPF)
NO. 2 GRADE-BUILDING MATERIALS
NO. 2 GRADE-BUILDING MATERIALS

ALL MATERIALS AND LABOR SHALL BE IN ACCORDANCE WITH THE ABOVE CODE AND ALL OTHER APPLICABLE LOCAL CODES AT THE TIME OF MANUFACTURE.

ALL THE FOLLOWING LUMBER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH "AMERICAN WOOD PROTECTION

© 2000 Blackwell Science Ltd *Journal of Internal Medicine* 247: 391–397

FOR ROOFS WITH ASPHALT SHINGLES AND A SLOPE BETWEEN 2 TO 12 AND 4 TO 12 SHALL HAVE A DOUBLE

9. FASTENERS FOR ASPHALT SHINGLES SHALL CONFORM TO SECTION 1507.26 OF THE 2012 IBC.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY AND PLACEMENT OF LAWN STORAGE UNIT TO INSURE THE INTEGRITY OF THE DIRT AND ITS COMPONENT PARTS.

SECTIONS AND DETAILS ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY AT ALL SIMILAR LOCATIONS UNLESS OTHER SECTIONS AND DETAILS ARE SPECIFICALLY REFERENCED.

AND BEING C (SOPW-2003). BUILDINGS HAVE BEEN DESIGNED TO HAVE ONLY OPENINGS WITH MAX WIDTHS EQUAL

1833-1834 1835-1836 1837-1838 1839-1840 1841-1842 1843-1844 1845-1846 1847-1848 1849-1850 1851-1852 1853-1854 1855-1856 1857-1858 1859-1860 1861-1862 1863-1864 1865-1866 1867-1868 1869-1870 1871-1872 1873-1874 1875-1876 1877-1878 1879-1880 1881-1882 1883-1884 1885-1886 1887-1888 1889-1890 1891-1892 1893-1894 1895-1896 1897-1898 1899-1900 1901-1902 1903-1904 1905-1906 1907-1908 1909-1910 1911-1912 1913-1914 1915-1916 1917-1918 1919-1920 1921-1922 1923-1924 1925-1926 1927-1928 1929-1930 1931-1932 1933-1934 1935-1936 1937-1938 1939-1940 1941-1942 1943-1944 1945-1946 1947-1948 1949-1950 1951-1952 1953-1954 1955-1956 1957-1958 1959-1960 1961-1962 1963-1964 1965-1966 1967-1968 1969-1970 1971-1972 1973-1974 1975-1976 1977-1978 1979-1980 1981-1982 1983-1984 1985-1986 1987-1988 1989-1990 1991-1992 1993-1994 1995-1996 1997-1998 1999-2000 2001-2002 2003-2004 2005-2006 2007-2008 2009-2010 2011-2012 2013-2014 2015-2016 2017-2018 2019-2020 2021-2022 2023-2024 2025-2026 2027-2028 2029-2030 2031-2032 2033-2034 2035-2036 2037-2038 2039-2040 2041-2042 2043-2044 2045-2046 2047-2048 2049-2050 2051-2052 2053-2054 2055-2056 2057-2058 2059-2060 2061-2062 2063-2064 2065-2066 2067-2068 2069-2070 2071-2072 2073-2074 2075-2076 2077-2078 2079-2080 2081-2082 2083-2084 2085-2086 2087-2088 2089-2090 2091-2092 2093-2094 2095-2096 2097-2098 2099-2100 2101-2102 2103-2104 2105-2106 2107-2108 2109-2110 2111-2112 2113-2114 2115-2116 2117-2118 2119-2120 2121-2122 2123-2124 2125-2126 2127-2128 2129-2130 2131-2132 2133-2134 2135-2136 2137-2138 2139-2140 2141-2142 2143-2144 2145-2146 2147-2148 2149-2150 2151-2152 2153-2154 2155-2156 2157-2158 2159-2160 2161-2162 2163-2164 2165-2166 2167-2168 2169-2170 2171-2172 2173-2174 2175-2176 2177-2178 2179-2180 2181-2182 2183-2184 2185-2186 2187-2188 2189-2190 2191-2192 2193-2194 2195-2196 2197-2198 2199-2200 2201-2202 2203-2204 2205-2206 2207-2208 2209-2210 2211-2212 2213-2214 2215-2216 2217-2218 2219-2220 2221-2222 2223-2224 2225-2226 2227-2228 2229-2230 2231-2232 2233-2234 2235-2236 2237-2238 2239-2240 2241-2242 2243-2244 2245-2246 2247-2248 2249-2250 2251-2252 2253-2254 2255-2256 2257-2258 2259-2260 2261-2262 2263-2264 2265-2266 2267-2268 2269-2270 2271-2272 2273-2274 2275-2276 2277-2278 2279-2280 2281-2282 2283-2284 2285-2286 2287-2288 2289-2290 2291-2292 2293-2294 2295-2296 2297-2298 2299-2300 2301-2302 2303-2304 2305-2306 2307-2308 2309-2310 2311-2312 2313-2314 2315-2316 2317-2318 2319-2320 2321-2322 2323-2324 2325-2326 2327-2328 2329-2330 2331-2332 2333-2334 2335-2336 2337-2338 2339-2340 2341-2342 2343-2344 2345-2346 2347-2348 2349-2350 2351-2352 2353-2354 2355-2356 2357-2358 2359-2360 2361-2362 2363-2364 2365-2366 2367-2368 2369-2370 2371-2372 2373-2374 2375-2376 2377-2378 2379-2380 2381-2382 2383-2384 2385-2386 2387-2388 2389-2390 2391-2392 2393-2394 2395-2396 2397-2398 2399-2400 2401-2402 2403-2404 2405-2406 2407-2408 2409-2410 2411-2412 2413-2414 2415-2416 2417-2418 2419-2420 2421-2422 2423-2424 2425-2426 2427-2428 2429-2430 2431-2432 2433-2434 2435-2436 2437-2438 2439-2440 2441-2442 2443-2444 2445-2446 2447-2448 2449-2450 2451-2452 2453-2454 2455-2456 2457-2458 2459-2460 2461-2462 2463-2464 2465-2466 2467-2468 2469-2470 2471-2472 2473-2474 2475-2476 2477-2478 2479-2480 2481-2482 2483-2484 2485-2486 2487-2488 2489-2490 2491-2492 2493-2494 2495-2496 2497-2498 2499-2500 2501-2502 2503-2504 2505-2506 2507-2508 2509-2510 2511-2512 2513-2514 2515-2516 2517-2518 2519-2520 2521-2522 2523-2524 2525-2526 2527-2528 2529-2530 2531-2532 2533-2534 2535-2536 2537-2538 2539-2540 2541-2542 2543-2544 2545-2546 2547-2548 2549-2550 2551-2552 2553-2554 2555-2556 2557-2558 2559-2560 2561-2562 2563-2564 2565-2566 2567-2568 2569-2570 2571-2572 2573-2574 2575-2576 2577-2578 2579-2580 2581-2582 2583-2584 2585-2586 2587-2588 2589-2590 2591-2592 2593-2594 2595-2596 2597-2598 2599-2600 2601-2602 2603-2604 2605-2606 2607-2608 2609-2610 2611-2612 2613-2614 2615-2616 2617-2618 2619-2620 2621-2622 2623-2624 2625-2626 2627-2628 2629-2630 2631-2632 2633-2634 2635-2636 2637-2638 2639-2640 2641-2642 2643-2644 2645-2646 2647-2648 2649-2650 2651

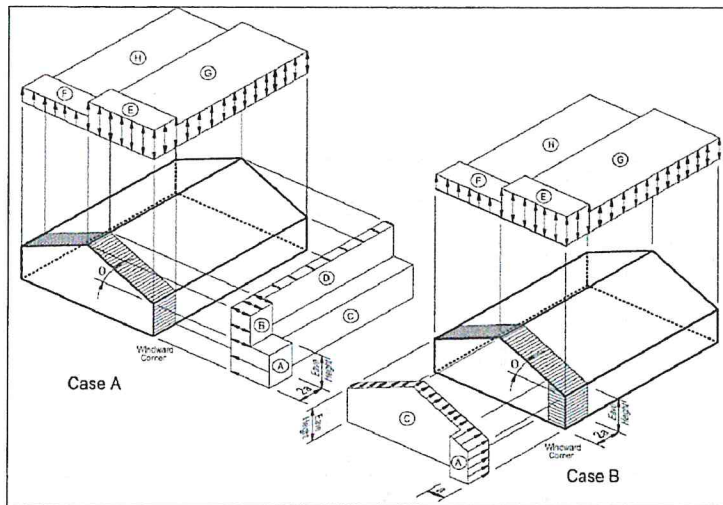
ENGINEER. SHOULD CONDITIONS ARISE THAT ARE NOT COVERED BY DETAILS ON THESE DESIGN DRAWINGS, CONTACT THE ENGINEER PRIOR TO CONSTRUCTION FOR ADDITIONAL INSTRUCTIONS.

THIS ENGINEER OR ANY DISCREPANCIES THAT MAY EXIST ON THE DISCREPANCIES BETWEEN THE ARCHITECTURAL PLANS AND THE

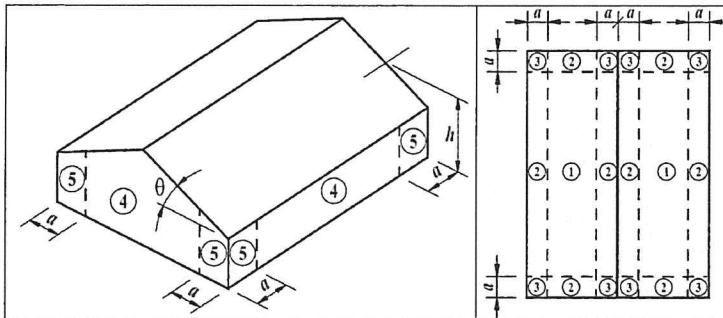
UNIVERSITY OF CALIFORNIA

3-88 COMMON (2 1/2 X 0.131)
3-2 X 0.131 NALS

15-0537-01R1



WIND LOAD MAIN WIND FORCE PRESSURE AREAS



WIND LOAD COMPONENT AND CLADDING WALL PRESSURE AREAS

BASIC WIND SPEED (mph)	ROOF ANGLE (DEGREES)	LOAD CASE	ZONES									
			HORIZONTAL PRESSURES				VERTICAL PRESSURES				ROOF OVERHANGS	
			A	B	C	D	E	F	G	H	E _{OH}	G _{OH}
130	0 TO 5	1	32.4	-16.8	21.5	-9.9	-39.0	-22.1	-27.1	-17.2	-54.6	-42.7
	10	1	36.5	-15.1	24.8	-8.8	-39.0	-23.8	-27.1	-18.3	-54.6	-42.7
	15	1	40.8	-13.6	27.1	-7.7	-39.0	-25.4	-27.1	-19.5	-54.6	-42.7
	20	1	44.9	-11.5	29.9	-6.5	-39.0	-27.1	-27.1	-20.6	-54.6	-42.7
	25	1	40.7	6.5	29.4	6.7	-18.0	-24.7	-13.1	-19.8	-13.6	-28.7
	25	2	-----	-----	-----	-----	-6.9	-13.4	-1.8	-8.6	-----	-----
	30 TO 45	1	36.4	24.9	29.0	20.0	2.8	-22.1	1.0	-19.0	-12.8	-14.6
	30 TO 45	2	36.4	24.9	29.0	20.0	14.0	-10.9	12.1	-7.7	-12.8	-14.6

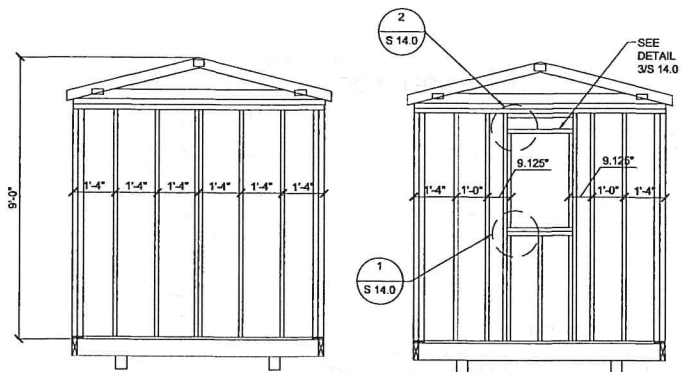
NOTES:

1. FOR EFFECTIVE AREAS BETWEEN THOSE GIVEN ABOVE THE LOAD MAY BE INTERPOLATED, OTHERWISE USE THE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.
2. PLUS AND MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARD AND AWAY FROM THE PROJECTED SURFACES RESPECTIVELY.
3. PRESSURES SHOWN ARE APPLIED NORMAL TO THE SURFACE.
4. REFER TO PRESSURE ZONE DIAGRAMS PROVIDED FOR CORRESPONDING ZONES.
5. ROOF FRAMING MEMBERS SHALL BE DESIGNED TO RESIST THE NET UPLIFT DESIGN PRESSURES SPECIFIED.
6. ROOF COVERINGS, FINISHES, ETC. SHALL BE DESIGNED FOR THE FULL NEGATIVE DESIGN PRESSURE
7. DESIGN PRESSURES SHOWN SHALL BE MULTIPLIED BY ITS APPROPRIATE LOAD CASE FACTOR FROM ARTICLE 2.4.1 OF ASCE 7-10 WHEN PERFORMING STRESS DESIGN ON STRUCTURAL ELEMENTS OF THE BUILDING.

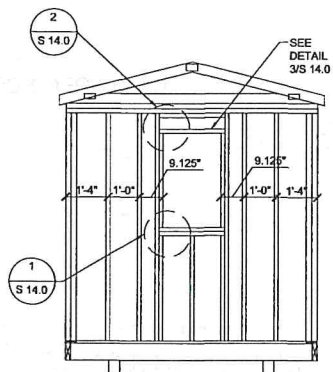
ROOF					WALLS					ROOF OVERHANG		
ZONE	AREA (ft ²)	DESIGN PRESSURE (psf)			ZONE	AREA (ft ²)	DESIGN PRESSURE (psf)		ZONE	AREA (ft ²)	DESIGN PRESSURE (psf)	
		Positive	Negative	Net Uplift			Positive	Negative				
1	10	21.2	-33.6	-26.6	4	10	36.8	-39.9	2	10	-68.6	
1	20	19.4	-32.7	-25.7	4	20	35.1	-38.2	2	20	-68.6	
1	50	16.8	-31.5	-24.5	4	50	32.9	-36.1	2	50	-68.6	
1	100	15	-30.5	-23.5	4	100	31.3	-34.4	2	100	-68.6	
2	10	21.2	-58.6	-51.6	4	500	27.5	-30.5	3	10	-115.3	
2	20	19.4	-54	-47	5	10	36.8	-49.2	3	20	-104.1	
2	50	16.8	-47.7	-40.7	5	20	35.1	-46	3	50	-89.2	
2	100	15	-43.1	-36.1	5	50	32.9	-41.5	3	100	-77.9	
3	10	21.2	-86.6	-79.6	5	100	31.3	-38.2				
3	20	19.4	-81.1	-74.1	5	500	27.5	-30.5				
3	50	16.8	-73.6	-66.6								
3	100	15	-68	-61								

NOTES:

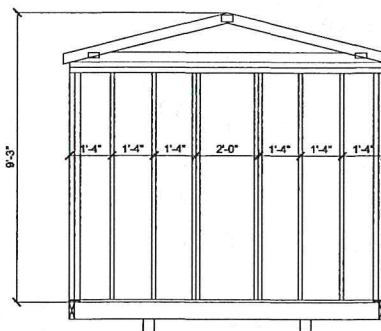
1. FOR EFFECTIVE AREAS BETWEEN THOSE GIVEN ABOVE THE LOAD MAY BE INTERPOLATED, OTHERWISE USE THE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.
2. THE LOAD PATTERNS SHOWN SHALL BE APPLIED TO EACH CORNER OF THE BUILDING IN TURN AS THE REFERENCE CORNER (SEE FIGURE 26.6-1)
3. FOR THE DESIGN OF THE CASE B MWFRS USE $\theta = 0^\circ$.
4. PLUS AND MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARD AND AWAY FROM THE PROJECTED SURFACES RESPECTIVELY.
5. WHERE ZONE E OR G FALLS ON A ROOF OVERHANG ON THE WINDWARD SIDE OF THE BUILDING, USE E_{QH} AND G_{QH} FOR THE PRESSURE ON THE HORIZONTAL PROJECTION OF THE OVERHANG. OVERHANGS ON THE LEEWARD AND SIDE EDGES SHALL HAVE BASIC ZONE PRESSURE APPLIED.
6. DESIGN PRESSURES SHOWN SHALL BE MULTIPLIED BY ITS APPROPRIATE LOAD CASE FACTOR FROM ARTICLE 2.4.1 OF ASCE 7-10 WHEN PERFORMING STRESS DESIGN ON STRUCTURAL ELEMENTS OF BUILDING.



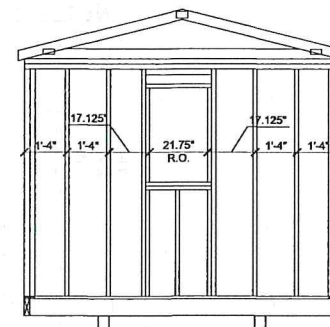
1
S 6.0
8'-0" UTILITY SHED ENDWALL
ELEVATION
SCALE: 1/4" = 1'-0"



2
S 6.0
8'-0" UTILITY SHED ENDWALL WITH WINDOW
ELEVATION
SCALE: 1/4" = 1'-0"



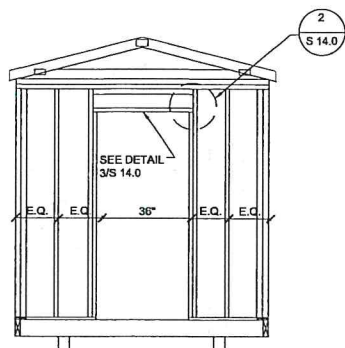
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S 6.0
10'-0" UTILITY SHED ENDWALL
ELEVATION
SCALE: 1/4" = 1'-0"



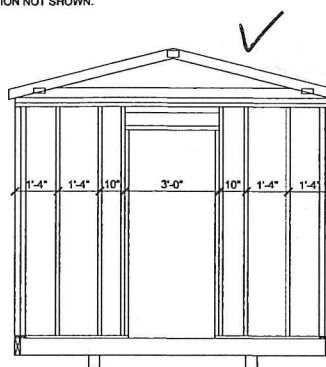
4
S 6.0
10'-0" UTILITY SHED ENDWALL WITH WINDOW
ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:

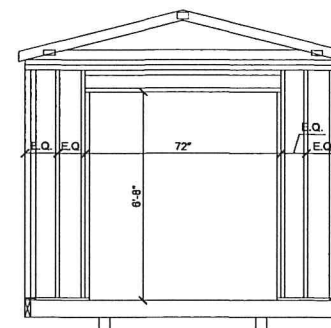
1. SEE NOTES ON SHEETS S 4.0, S 5.0, AND SECTION 1/S 11.0 FOR ANY INFORMATION NOT SHOWN.



5
S 6.0
8'-0" UTILITY SHED ENDWALL WITH 3'-0" DOOR
ELEVATION
SCALE: 1/4" = 1'-0"



6
S 6.0
10'-0" UTILITY SHED ENDWALL WITH 3'-0" DOOR
ELEVATION
SCALE: 1/4" = 1'-0"



7
S 6.0
10'-0" UTILITY SHED ENDWALL WITH 6'-0" DOOR
ELEVATION
SCALE: 1/4" = 1'-0"

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DATE: 07/20/2015

PROJECT:
PREMIER PORTABLE BUILDINGS
UTILITY SHED PLANS
BUILT BY MENNONITE CRAFTSMAN
130 MPH
PLAN: STATE OF TEXAS



THESE PLANS AND DOCUMENTS OR THE DOCUMENTS HAS BEEN AUTHORIZED BY JOHN DE JESUS MARTINEZ, P.E. 20051 ON 07/11/2015.
PARAGON
STRUCTURAL ENGINEERING LTD
404 INTERNATIONAL Pkwy
SUITE 1800
PLANO, TEXAS 75073
1-409-892-7200 F: 409-892-7201
INFO@PENG.COM
TX FIRM REGISTRATION NO. F-9143

SHEET TITLE:
ENDWALL FRAMING

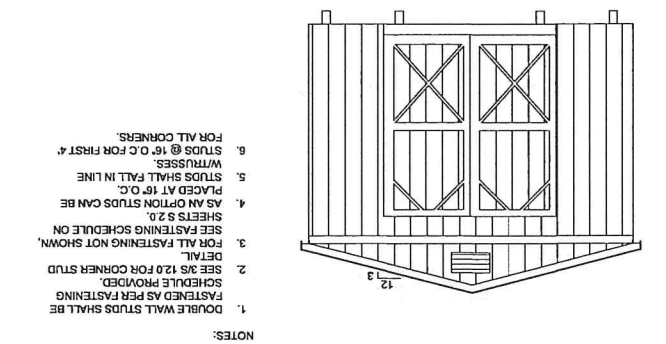
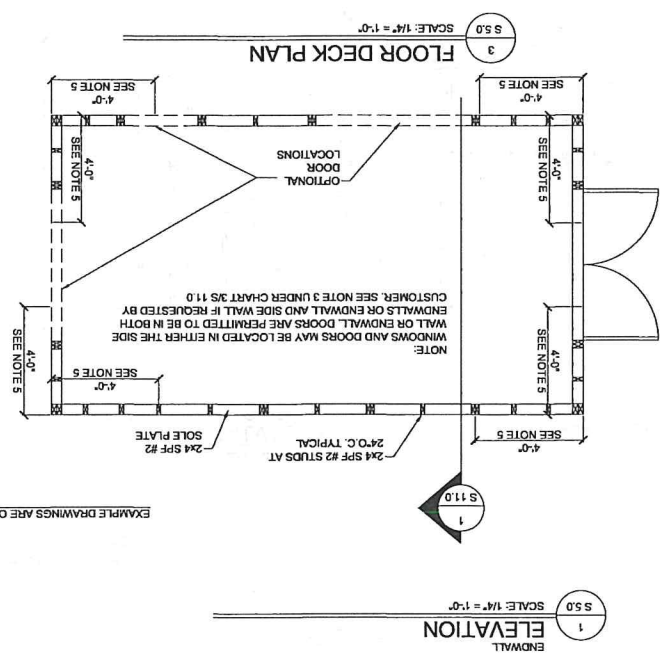
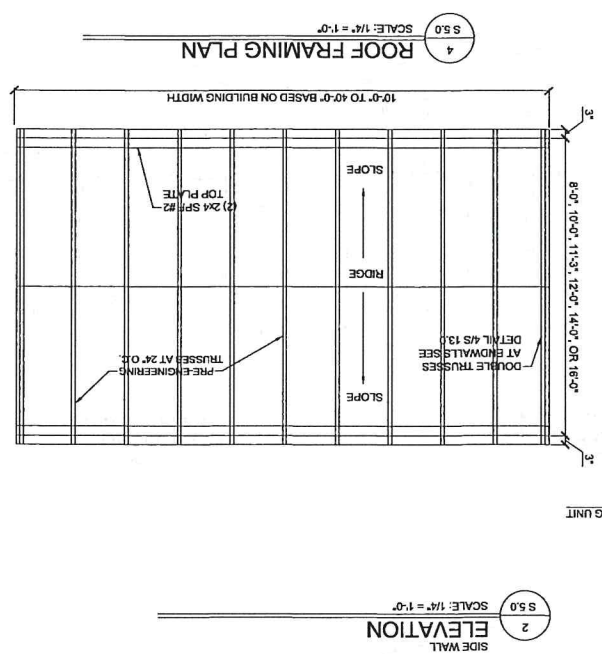
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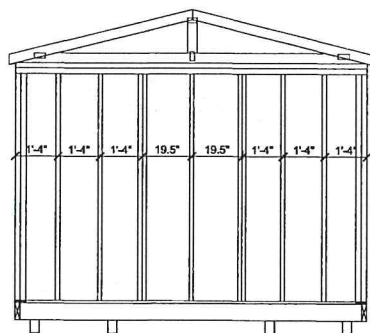
DATE: 09-11-2015
PROJECT: 15-0339-D1
S 6.0

15-0339-D1
S 5.0
09-11-2015
1/8" = 1'-0" 11x17
SCALE
FLOOR DECK PLANS
& ELEVATIONS
THE STATE OF TEXAS
REGISTERED PROFESSIONAL ENGINEER
NO. 111,016
DATE: 11/11/15
PROJECT
PREMIER PORTABLE BUILDINGS
UTILITY SHED PLANS
BUILT BY MENNONITE CRAFTSMAN
130 MPH
PLAN: STATE OF TEXAS

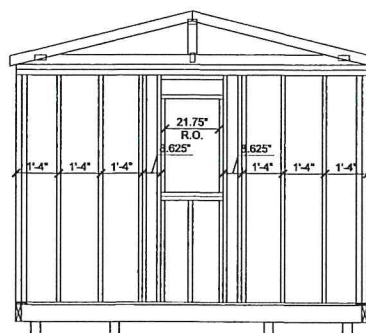
DATE: 11/11/15
PROJECT
PREMIER PORTABLE BUILDINGS
UTILITY SHED PLANS
BUILT BY MENNONITE CRAFTSMAN
130 MPH
PLAN: STATE OF TEXAS

SEE AND OBSERVE OF THIS AND OCCUPANCY
REQUIREMENTS. THE DESIGNER SHALL BE
RESPONSIBLE FOR OBTAINING ALL NECESSARY
PERMITS AND APPROVALS. THE DESIGNER
SHALL BE RESPONSIBLE FOR OBTAINING ALL
NECESSARY PERMITS AND APPROVALS. THE
DESIGNER SHALL BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY PERMITS AND
APPROVALS. THE DESIGNER SHALL BE
RESPONSIBLE FOR OBTAINING ALL
NECESSARY PERMITS AND APPROVALS.

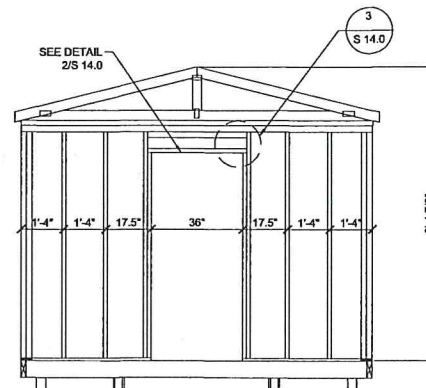




1
S 7.0
11'-3" UTILITY SHED ENDWALL
ELEVATION
SCALE: 1/4" = 1'-0"



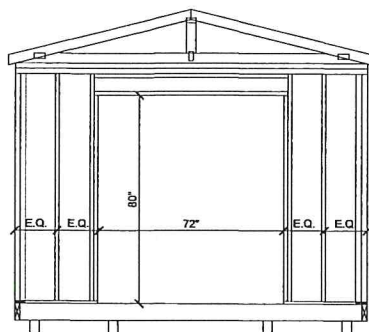
2
S 7.0
11'-3" UTILITY SHED ENDWALL WITH WINDOW
ELEVATION
SCALE: 1/4" = 1'-0"



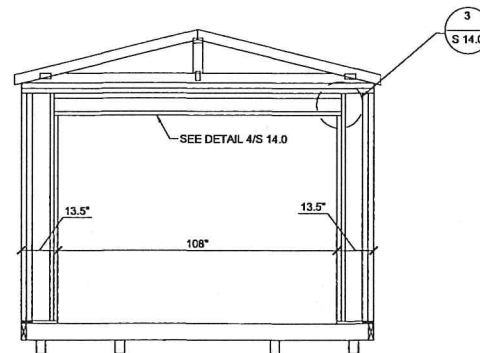
3
S 7.0
11'-3" UTILITY SHED ENDWALL WITH 3'-0" DOOR
ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:

1. SEE NOTES ON SHEETS S 4.0, S 5.0, AND SECTION 1/S 11.0 FOR ANY INFORMATION NOT SHOWN.



4
S 7.0
11'-3" UTILITY SHED ENDWALL WITH 6'-0" DOOR
ELEVATION
SCALE: 1/4" = 1'-0"



5
S 7.0
11'-3" UTILITY SHED ENDWALL WITH 9'-0" DOOR
ELEVATION
SCALE: 1/4" = 1'-0"

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DATE: 09-11-2015

PROJECT:
PREMIER PORTABLE BUILDINGS
UTILITY SHED PLANS
BUILT BY MENNONITE CRAFTSMAN
130 MPH
PLAN: STATE OF TEXAS



THE SEAL ANYWHERE ON THE
DOCUMENT SHALL BE AUTHORIZED BY
JAMES W. HARRIS, P.E. 0001
09-11-2015
PARAGON
STEEL BUILDING CORPORATION LTD
604 INTERNATIONAL HWY
SUITE 1000
PLANO, TEXAS 75075
TEL: 972.222.1111 FAX: 972.222.1112
WWW.PARAGONSTEEL.COM
TX REGISTRATION NO.: F-9148

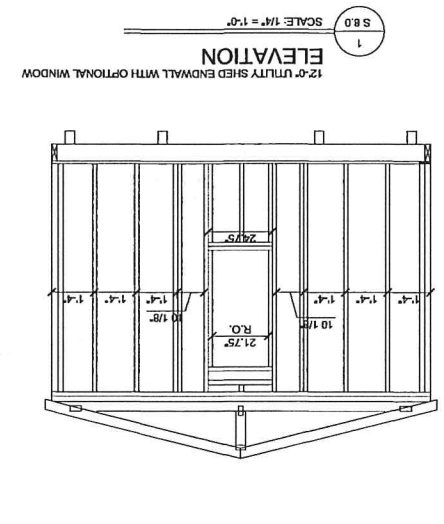
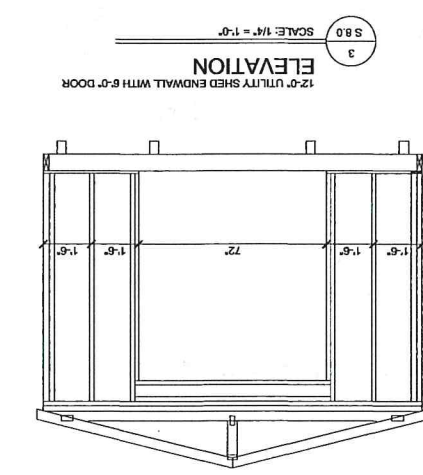
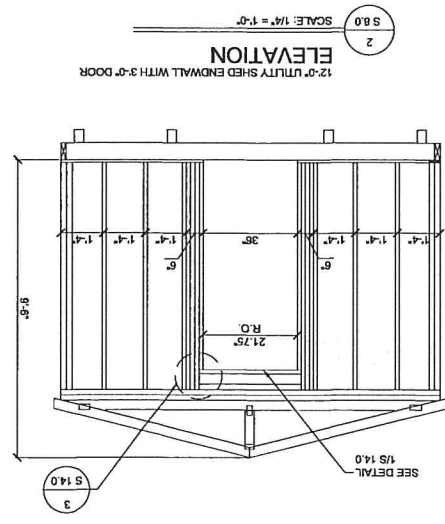
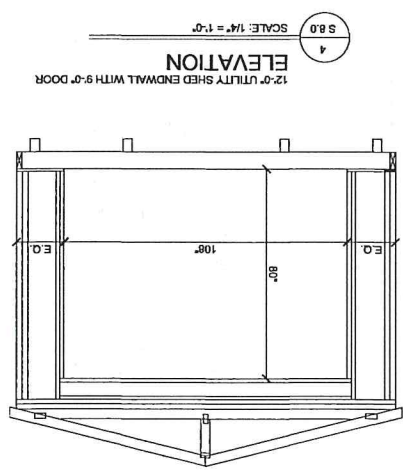
SHEET TITLE:
ENDWALL FRAMING
SCALE:
1/4" = 1'-0" 22'x34'
1/8" = 1'-0" 11'x17'
DATE:
09-11-2015
PROJECT NUMBER:
15-0339-01

15-0339-D1
S 8.0
09-11-2015
1/8" = 1'-0" 1/4" = 1'-0" 1/2" = 1'-0"
ENDWALL FRAMING
PLAN: STATE OF TEXAS
UTILITY SHED PLANS
BUILT BY MENNONITE CRAFTSMAN
130 MPH
PREMIER PORTABLE BUILDINGS
DATE: 10/20/2014
15-0339-D1



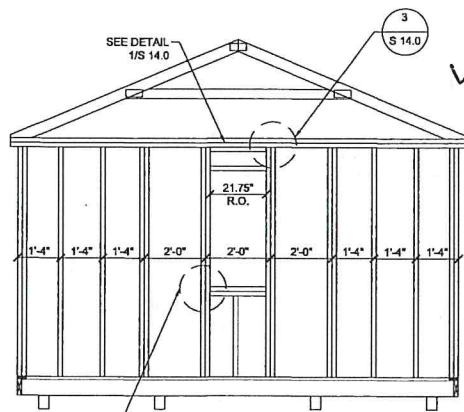
15-0339-D1
S 8.0
09-11-2015
1/8" = 1'-0" 1/4" = 1'-0" 1/2" = 1'-0"
ENDWALL FRAMING
PLAN: STATE OF TEXAS
UTILITY SHED PLANS
BUILT BY MENNONITE CRAFTSMAN
130 MPH
PREMIER PORTABLE BUILDINGS
DATE: 10/20/2014
15-0339-D1

15-0339-D1
S 8.0
09-11-2015
1/8" = 1'-0" 1/4" = 1'-0" 1/2" = 1'-0"
ENDWALL FRAMING
PLAN: STATE OF TEXAS
UTILITY SHED PLANS
BUILT BY MENNONITE CRAFTSMAN
130 MPH
PREMIER PORTABLE BUILDINGS
DATE: 10/20/2014
15-0339-D1

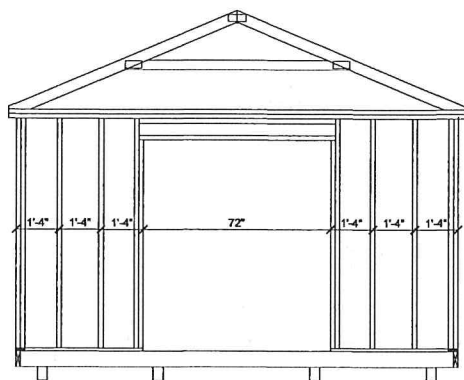


NOTES:
1. SEE NOTES ON SHEETS S 4.0, S 5.0, AND SECTION 1/5 11.0 FOR ANY INFORMATION NOT SHOWN.

SEE DETAIL
1/5 14.0
S 14.0



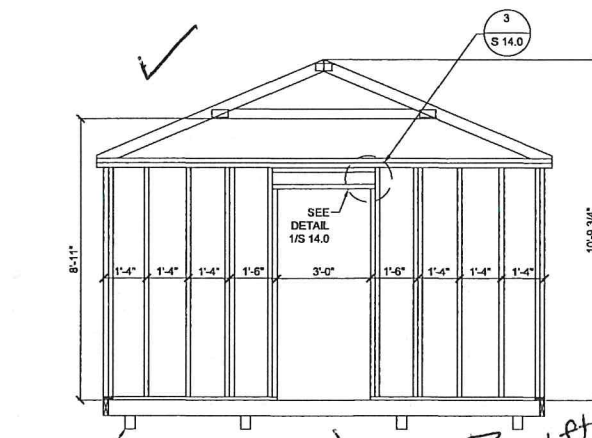
14'-0" ENDWALL FRAMING WITH OPTIONAL WINDOW
ELEVATION
1 S 9.0 SCALE: 1/4" = 1'-0"



14'-0" ENDWALL FRAMING W/ UP TO 6'-0" DOOR
ELEVATION
3 S 9.0 SCALE: 1/4" = 1'-0"

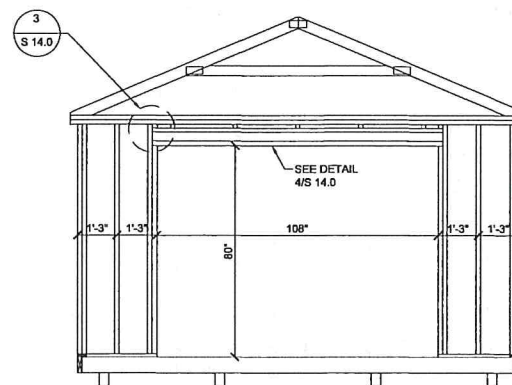
✓ w/no window

- NOTES:
1. SEE NOTES ON SHEETS S 4.0, S 5.0, AND SECTION 1/S 11.0 FOR ANY INFORMATION NOT SHOWN.



14'-0" ENDWALL FRAMING W/ UP TO 3'-0" DOOR
ELEVATION
2 S 9.0 SCALE: 1/4" = 1'-0"

1 ft away from corner



14'-0" ENDWALL FRAMING W/ 9'-0" DOOR
ELEVATION
4 S 9.0 SCALE: 1/4" = 1'-0"

USE AND OWNERSHIP OF PLANS AND DOCUMENTS
THIS SET OF PLANS IS THE PROPERTY OF PARAGON INTERNATIONAL, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS SET OF PLANS IS TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF PARAGON INTERNATIONAL, INC. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF PARAGON INTERNATIONAL, INC. AND ARE NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF PARAGON INTERNATIONAL, INC.

DATE: 11/20/15

PROJECT: PREMIER PORTABLE BUILDINGS
UTILITY SHED PLANS
BUILT BY MENNONITE CRAFTSMAN
130 MPH
PLAN: STATE OF TEXAS



11% SEAL APPLICANTS ON THIS DOCUMENT MUST BE AUTHORIZED BY JCPS OR ACPD MEETING PLS. 2000 ON 01/11/2015.
PARAGON INTERNATIONAL, INC.
SUITE 1800
PLANO, TEXAS 75073
1-800-872-2251 / 409-872-2251
409-872-2251 / 409-872-2251
TX REG. REGISTRATION NO. 171143

DATE: 09-11-2015
PROJECT: UTILITY SHED
15-0339-01
ENDWALL FRAMING
SCALE:
1/4" = 1'-0" 22'x34"
1/8" = 1'-0" 11'x17"
S 9.0

15-0339-D1
S 10.0

09-11-2015
1/8" = 1'-0" 11x17"

ENDWALL FRAMING

6000 INTERNATIONAL PONY
PLANO, TEXAS 75093
1-409-897-7300 / 409-897-2001
WWW.6000.COM



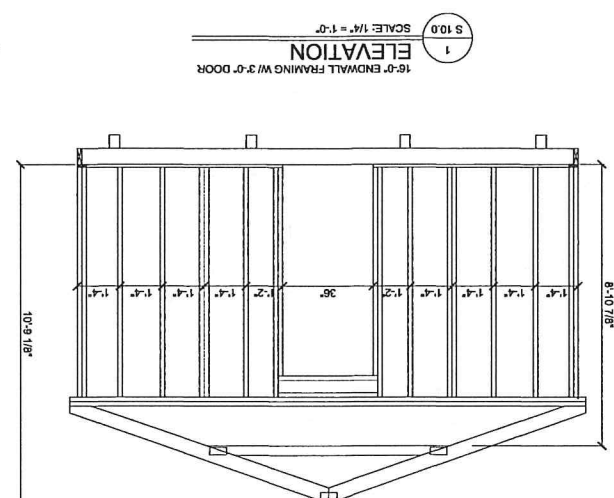
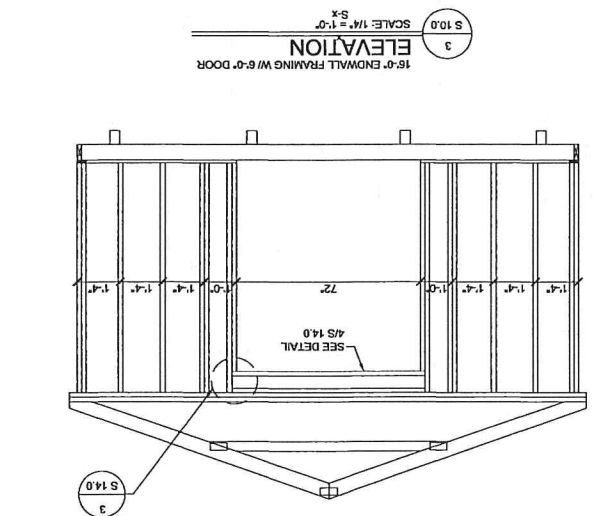
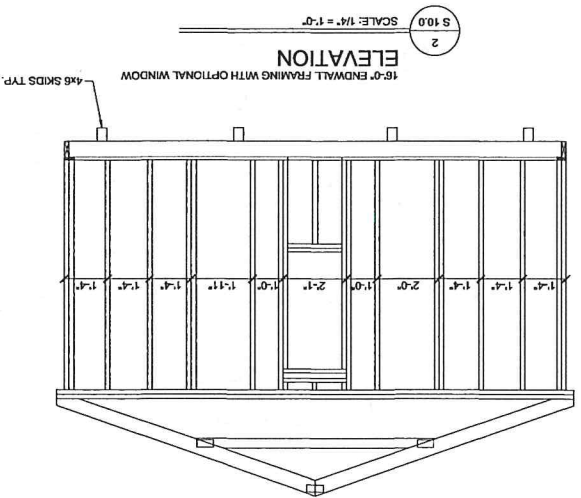
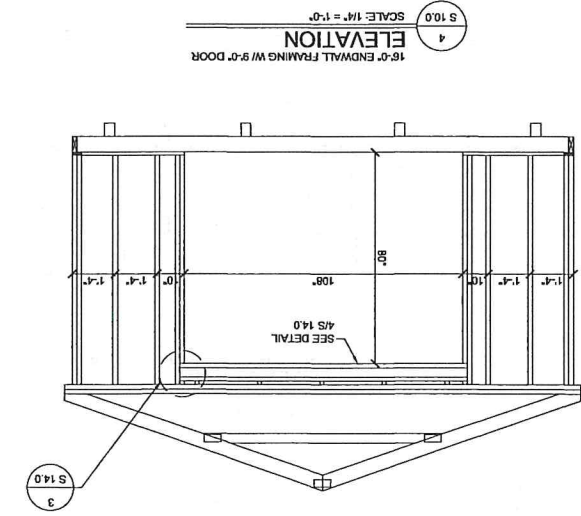
PREMIER PORTABLE BUILDINGS
UTILITY SHED PLANS
BUILT BY MENNONITE CRAFTSMAN
130 MPH
PLAN: STATE OF TEXAS

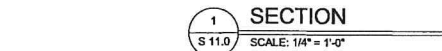
Sheet Includes:

1	16'-0" ENDWALL FRAMING WITH 3'-0" DOOR
2	16'-0" ENDWALL FRAMING WITH OPTIONAL WINDOW
3	16'-0" ENDWALL FRAMING WITH 6'-0" DOOR
4	16'-0" ENDWALL FRAMING WITH 9'-0" DOOR

1. SEE NOTES ON SHEETS S 4.0, S 5.0, AND SECTION 1/15 11.0 FOR ANY INFORMATION NOT SHOWN.

1. SEE NOTES ON SHEETS S 4.0, S 5.0, AND SECTION 1/15 11.0 FOR ANY INFORMATION NOT SHOWN.





1. MAX OPENING MAY BE INCREASED TO 9'-0" WITH HEADER 8/S 14.0 PROVIDED THE BUILDING LENGTH IS OVER 16' IN LENGTH AND THE CRITERIA IN NOTE NUMBER 3 OF THE SHEARWALL CHART X/S-X IS MET.

3
S 11.0

SHEARWALL
CHART

SCALE: N.T.S.

1. 19/32 TI-11 SHALL BE FASTENED USING 8d COMMON OR DEFORMED NAILS WITH 3/16" PATTERN.
2. 3/8" LP SMARTPANEL SHALL BE FASTENED USING 8d COMMON OR DEFORMED NAILS WITH 3/6" PATTERN.
3. LIMITATIONS ON THE TOTAL OPENING DIMENSIONS SHALL BE BASED ON THE SHEAR WALL HEIGHT TO WIDTH RATIO OF 3.5:1 AND SHALL NOT EXCEED [2/3] OF TOTAL LENGTH OF BUILDING. SIDEWALL NAILING SHALL BE 8d COMMON OR DEFORMED NAILS AT 6"/16" PATTERN EVERYWHERE WHEN TOTAL OPENING WIDTHS IN SIDEWALL ARE LESS THAN [2/3] OF TOTAL LENGTH OF BUILDING.
4. ALUMINUM SIDING OVER 7/16" OSB FASTENED USING 8d COMMON OR DEFORMED NAILS WITH 3/16" PATTERN.

1. 1932" T-HI SHALL BE FASTENED USING 8d COMMON OR DEFORMED NAILS AT 6" O.C IN FIELD AND 3" O.C ALONG ALL PANEL EDGES.
2. 3/8" LP SMARTPANEL SHALL BE FASTENED USING 8d COMMON OR DEFORMED NAILS AT 6" O.C IN FIELD AND 3" O.C ALONG ALL PANEL EDGES.
3. LIMITATIONS ON THE TOTAL OPENING DIMENSIONS SHALL BE BASED ON THE CLEAR WALL HEIGHT TO WIDTH RATIO OF 3.5:1 AND SHALL NOT EXCEED (2/3) OF TOTAL LENGTH OF BUILDING. NAILING IN SIDEWALL USE 8d NAILS COMMON OR DEFORMED AT 6" O.C. EVERYWHERE WHEN TOTAL OPENING WIDTH IS IN SIDE WALL ARE LESS THAN (2/3) OF TOTAL LENGTH OF BUILDING.
4. ALL STUD WALLS SIKING OVER 716" OSB FASTENED USING 8d COMMON OR DEFORMED NAILS AT 6" O.C IN FIELD AND 3" O.C ALONG ALL PANEL EDGES.




THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JUDGE DE JESUS MARTINEZ, P.E. 2009E ON 02-11-2015.

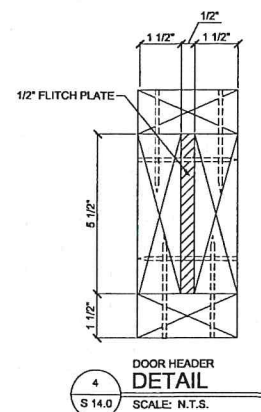
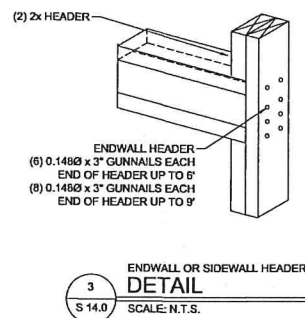
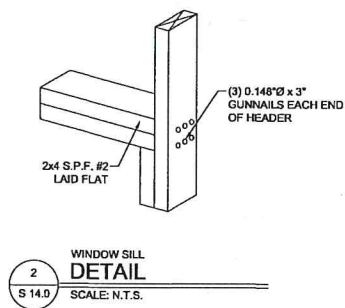
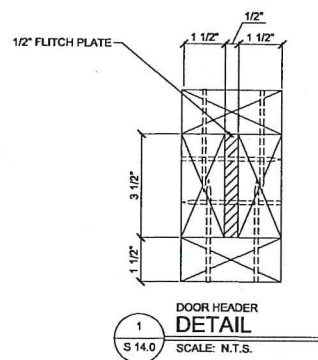
PARAGON
STRUCTURAL ENGINEERING LTD

6404 INTERNATIONAL PKWY
SUITE 1800
PLANO, TEXAS 75093
T: 469.892.7320 F: 469.892.7321
INFO@SIGLOBAL.COM
TX FIRM REGISTRATION NO.: F-9163

**SIDEWALL SECTION
& SHEARWALL CHART**

SCALE:
1/4" = 1'-0" 22'x34" 
1/8" = 1'-0" 11'x17"

DATE	REV. NUMBER
09-11-2015	S 11.0
PROJECT NUMBER	
15-0339-D1	



- NOTES:

1. SEE NOTES ON SHEETS S 4.0, S 5.0, AND SECTION 1/ S 11.0 FOR ANY INFORMATION NOT SHOWN.
2. SEE FASTENING SCHEDULE FOR ALL FASTENING NOT NOTED ON THIS SHEET.

[illegible]

PROJECT:
PREMIER PORTABLE BUILDINGS
UTILITY SHED PLANS
BUILT BY MIENNONITE CRAFTSMAN
130 MPH
PLAN: STATE OF TEXAS



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JESUS DE JESUS MARTINEZ, P.E.

PARAGON
STRUCTURAL ENGINEERING LTD.
6404 INTERNATIONAL PKWY
SUITE 1800
PLANO, TEXAS 75093
T: 469.292.7320 F: 469.292.7321
INFO@SEI.CAL.COM
TX REGISTRATION NO.: F-9163

SENSITIVE

HEADER DETAILS

SCALE:
 $1/4" = 1'-0"$ $22' \times 34"$ $6' \times 12"$
 $1/8" = 1'-0"$ $11' \times 17"$

DATE	SHEET NUMBER
09-11-2015	S 14.0
PROJECT NUMBER	
15-0339-D1	




THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JUDGE D. SCOTT MARTINEZ, P.E. 30001 ON CP 11 2015.

PARAGON
STRUCTURAL ENGINEERING LTD.

6404 INTERNATIONAL PKWY
SUITE 1000
PLANO, TEXAS 75093
T: 469.392.7520 F: 469.392.7521
NORTH@SGLOBAL.COM
TX FIRM REGISTRATION NO.: F-9163

SHEET TITLE:
**OPTIONAL PORCH
PLANS**

SCALE:
 $1/4" = 1'-0"$ 22"x34" 
 $1/8" = 1'-0"$ 11"x17"

DATE	09-11-2015
PROJECT NUMBER	15-0339-D1
SHEET NUMBER	S 18.0




PROJECT:
PREMIER PORTABLE BUILDINGS
UTILITY SHED PLANS
BUILT BY MENNONITE CRAFTSMAN
130 MPH
PLAN: STATE OF TEXAS



THE SEAL APPEARING ON THE DOCUMENT WAS AUTHORIZED
JOSE DE JESUS MARTINEZ, P.
ON 08/11/2015.

PARAGON
STRUCTURAL ENGINEERING & ARCHITECTURE
6404 INTERNATIONAL PKWY
SUITE 1800
PLANO, TEXAS 75093
T: 469.892.7320 F: 469.892.7321
INFO@SIG.OBJ.COM
TX FIRM REGISTRATION NO.: F-9163

SHEET TITLE:
**OPTIONAL PORCH
SECTION**

SCALE:
1/4" = 1'-0" 22"x34" 
1/8" = 1'-0" 11"x17"
DATE: 09-11-2015
PROJECT NUMBER: S 16.0

CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: May 19, 2021
TO: Historic Development Board
FROM: Brenda Joyas, CNU-A (Downtown Manager/HPO)
SUBJECT: Discuss and Consider Action on adding sections of a cedar fence on two locations of the house on Orig Town, Block 20, Lot 25, 26, Acres 0 also known as 216 West Lee.
APPLICANT: Ruben A. Pena, Owner
CONTRACTOR: Ruben A. Pena, Owner

REQUEST

Discuss and Consider Action on adding sections of a cedar fence on two locations of the house on Orig Town, Block 20, Lot 25, 26, Acres 0 also known as 216 West Lee.

EXHIBITS

Applications, Site plan, Kleberg County property card, Pictures of home with locations of new fence additions.

BACKGROUND & PERTINENT DATA

Mr. Pena would like to enclose the side and rear part of the house for privacy and security. A new section of cedar fence will start from the front of the house going east to the fence with a walk-through gate. The second part of the new section of fence starts at the back of the house (southwest corner) to the existing fence with a gate for the car to have access to pull in/out. Style of the fence would match existing fence around the home, material is cedar, and height is 6.5 feet.

STAFF REVIEW & RECOMMENDATION

Staff does not see a historic, cultural, or architectural difference of the house or district by adding the new sections of the fence so recommendation is approval.

BOARD REVIEW

Scope of Historical Development Board

In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.
- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.
- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or

appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.

- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Brenda Joyas, CNU-A
Downtown Manager/HPO

Historical Development Board Review Application

Item #4.

Applicant: Ruben A. Peña

Address: 216 W. Lee

Contact: Cell: 361-522-2111 Home: _____

Email: tudypeña@hotmail.com

Property Owner: Ruben A. + Martha U. Peña

Address: 3411 S. Brahma Blvd. (home address)

Contact: Cell: 361-522-2111 Home: _____

Property Location and Description: 216 W. Lee Ave; Original Town, Block 20, Lot 25, 26, Acres .0

Description of Work: Build cedar fence on two locations, 12' on Southeast of property and 19' on Northwest end of property.

Contractor: Owner

Contact: Cell: Same as above Home: _____

Email: "Ditto"

Documents Required:

1. Sketch, Drawing, Plans, Site Plans, Mock-ups
2. Photographs (Historic, Current, Surrounding Structures)
3. Materials List or Samples
4. Proof of Ownership
5. Letter of Representation and Work Approval from Property Owner (If Applicable)

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: Ruben A. Peña

Signature: Ruben Peña Date: 5/4/2021

**City of Kingsville
Fence Application**

Property Information

Project Address: <u>216 W. Lee</u>	Legal Description: <u>Orig Town, Block 20, Lot 25 & 26</u>
Zoning District:	Historic District:

Contact Information:

Owner	<u>Ruben Peña</u>	Contractor	<u>None (owner)</u>
Mailing Address	<u>3411 S. Brahma Blvd.</u>	Address	—
Phone	<u>361-522-2111</u>	Phone	—
E-mail	<u>rubenpena@hotmail.com</u>	E-mail	—

Description of Work

Land Use: (circle one) Residential Commercial

Type of Material: (check box)

- | | | |
|--|---------------------------------------|---|
| <input type="checkbox"/> Chain Link | <input type="checkbox"/> Vinyl | <input type="checkbox"/> Stone |
| <input checked="" type="checkbox"/> Solid Wood | <input type="checkbox"/> Wrought Iron | <input type="checkbox"/> Concrete Block |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Other | |

Job Valuation

Total Job Valuation: \$ 400.00

Required Supplemental Documentation

☒ Site Plan with fence location and height indicated

☐ Show Property Lines and Setbacks

☐ Image or drawing depicting fence design

Signed (Applicant): Ruben Peña

Date: 5/3/2021

City of Kingsville Only

Permit Fees: \$35.00

Date Paid: _____

Permit #: _____

Remarks: Two locations on property of 6' high cedar fence. Twelve linear feet is located @ Southeast front; 19' is located @ Northwest back side of house. Both fences will be tied to existing fences.

Approved by: _____

Date: _____

Effective 10/4/2016

FENCE PLOT PLAN

ADDRESS: 216 W. Lee

LEGAL

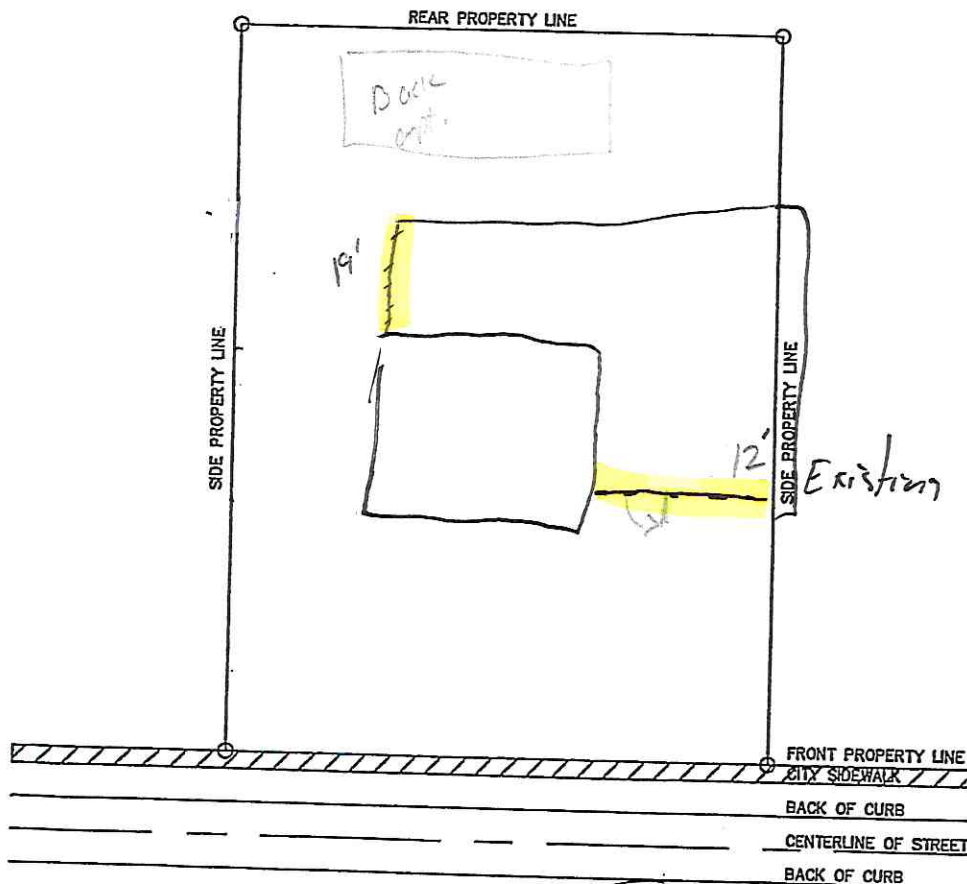
DESCRIPTION: LOT BLOCK ADDITION

LINEAL FOOTAGE OF FENCE: 31 LIN. FT.

INSTRUCTIONS TO APPLICANT:

FOR OBTAINING FENCE PERMIT THE FOLLOWING INFORMATION MUST BE PROVIDED IN THE SPACE BELOW:

- 1) Location and lineal footage of fence to be erected.
- 2) Show setback distances of existing buildings on property.
- 3) Show easements.
- 4) Indicate whether property is a corner lot.
- 5) Show street and avenue location.



SIGNATURE OF OWNER OR AUTHORIZED REPRESENTATIVE: Rubén Pina

CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: May 19, 2021
TO: Historic Development Board
FROM: Brenda Joyas, CNU-A (Downtown Manager/HPO)
SUBJECT: Discuss and Consider Action on installing a new privacy fence around the perimeter of the new home on 5th, Block 8, Lot W3' 29, 30-32, Acres .0 also known as 604 East Lott Avenue.
APPLICANT: Juan Valdez, Contractor
CONTRACTOR: Texas Wood Pro

REQUEST

Discuss and Consider Action on installing a new privacy fence around the perimeter of the new home on 5th, Block 8, Lot W3' 29, 30-32, Acres .0 also known as 604 East Lott Avenue.

EXHIBITS

Application, Letter of Owner, Deed, Material lists, and site plan.

BACKGROUND & PERTINENT DATA

This new house would like to add a privacy fence to the perimeter of the property for security seeing it is located on a corner. Material is treated wood at 6.5 feet high with a walk-through gate on the west corner of the front of the house.

STAFF REVIEW & RECOMMENDATION

Staff does not see a change in historic, cultural, or architectural nature of house or district and so recommends approval of the privacy fence.

BOARD REVIEW

Scope of Historical Development Board

In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.
- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.
- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the

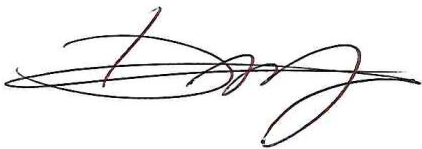
structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.

- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
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8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
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10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Brenda Joyas, CNU-A
Downtown Manager/HPO

Historical Development Board Review Application

Item #5.

Applicant: JUAN Valdez
Address: 3013 CR 14 D Bishop B-Spann TX 78343
Contact: Cell: 361-655 1098 Home:
Email: JUAN. Valdez 3563@gmail.com / sarahgania25@outlook.com

Property Owner: SARAH mendez
Address: 604 East Lott
Contact: Cell: 361-228-3775 Home:
Property Location and Description: 604 East Lott (new home)

Description of Work: 310 ~~260~~ FT. OF Fence 6.5 Ft High
5th Block 8, Lot W3' 29, 30-32, Acres. 0


Contractor: TEXAS Wood Pro
Contact: Cell: 361-655-1098 Home:
Email: JUAN. Valdez 3563@gmail.com

Documents Required:

1. Sketch, Drawing, Plans, Site Plans, Mock-ups
2. Photographs (Historic, Current, Surrounding Structures)
3. Materials List or Samples
4. Proof of Ownership
5. Letter of Representation and Work Approval from Property Owner (If Applicable)

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: JUAN Valdez

Signature:  Date: 4-28-21

04/29/21

I am writing this Letter of Representation, requested by the Historical Development Board Review Application. I, Sarah Mendez, wife to Rodolfo Mendez, property owner of 604 East Lott, give Juan Valdez of Texas Wood Pro, work approval to install a fence at our newly built home.

Sarah A. Mendez

A handwritten signature in cursive script, reading "Sarah A. Mendez". The signature is written in dark ink on a white background.

**CERTIFIED
EXACT COPY**

#20-06-10SS

NOTICE OF CONFIDENTIAL RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

WARRANTY DEED WITH VENDOR'S LIEN

DATE: JULY 14, 2020

GRANTOR: TOMMIE D. KILLION AND WIFE, AURORA S. KILLION

GRANTOR'S ADDRESS: 502 E. Kenedy Ave., Kingsville, TX 78363

GRANTEE: RODOLFO OMAR MENDEZ and wife, SARAH ALYSE MENDEZ

GRANTEE'S ADDRESS: 503 E. Lee Ave., Kingsville, TX 78363

CONSIDERATION:

TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration including a note of even date herewith in the principal amount of [REDACTED] executed by Grantee, payable to FREEDOM BANK (hereinafter "Lender"). It is secured by a vendor's lien retained in this deed in favor of Lender, and by a Deed of Trust of even date from Grantee to Michael H. Patterson, Trustee. The vendor's lien against and superior title to the property are retained until each note described is fully paid according to its terms, at which time this deed shall become absolute. Lender, at Grantee's request, has paid in cash to Grantor that portion of the purchase price of the property that is evidenced by the note described. The vendor's lien and superior title to the property are retained for the benefit of Lender and are transferred to that party without recourse on Grantor.

PROPERTY:

The West Three feet of Lot Twenty-nine (W 3' of 29), and all of Lots Thirty (30), Thirty-one (31) and Thirty-two (32), Block Eight (8), FIFTH ADDITION, an addition to the City of Kingsville, Kleberg County, Texas, as shown on the map or plat of record in Envelope 20, Map Records of Kleberg County, Texas.

RESERVATIONS FROM AND EXCEPTIONS TO CONVEYANCE AND WARRANTY:

Easements, rights-of-way, whether of record or not; all presently recorded restrictions, reservations, covenants, conditions, oil and gas leases, mineral severances, and other instruments, other than liens and conveyances, that affect the property; rights of adjoining owners in any walls and fences situated on a common boundary; any discrepancies, conflicts, or shortages in area or boundary lines; and encroachments or overlapping of improvements; taxes for the current year, the payment of which Grantee assumes, zoning laws, regulations and ordinances of municipal and other governmental authority, if any, affecting the property.

Grantor, for the consideration and subject to the reservations from and exceptions to conveyance and warranty, grants, sells, and conveys to Grantee the property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and hold it to Grantee, Grantee's heirs, executors, administrators, successors, or assigns forever. Grantor binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the reservations from and exceptions to conveyance and warranty.

**CERTIFIED
EXACT COPY**

NOTICE TO PURCHASER

The real property, described below, which you are about to purchase, is located in the South Texas Water Authority Water District. The district has taxing authority separate from any other taxing authority, and may, subject to vote approval, issue an unlimited amount of bonds and levy an unlimited rate of tax in payment of such bonds. As of this date, the most recent rate of taxes levied by the district on real property located in the district is \$0.085170 on each \$100 of assessed valuation. The total amount of bonds which has been approved by the voters and which have been or may, at this date, be issued is \$5,110,000.00, and the aggregate initial principal amounts of all bonds issued for one or more of the specified facilities of the district and payable in whole or in part from property taxes is \$5,110,000.00. The purpose of this district is to provide water, sewer, drainage and flood control facilities and services within the district through the issuance of bonds payable in whole or in part from property taxes. The cost of these utility facilities is not included in the purchase price of your property, and these utility facilities are owned or to be owned by the district. The Legal description of the property, which you are acquiring, is as follows:

The West Three Feet of Lot Twenty-Nine (W3' of 29) and all of Lots Thirty (30), Thirty-One (31) and Thirty-Two (32), Block Eight (8), Fifth Addition, an addition to the City of Kingsville, Kleberg County, Texas, as shown on map or plat of record in Envelope 20, Map Records of Kleberg County, Texas

Tommie D. Killion
Tommie D. Killion, Seller

Aurora S. Killion
Aurora S. Killion, Seller

The undersigned purchaser hereby acknowledges receipt of the foregoing notice at or prior to execution of a binding contract for the purchase of the real property described in such notice or at closing of purchase of the real property.

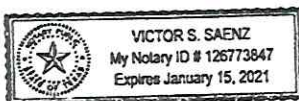
Rodolfo Omar Mendez
Rodolfo Omar Mendez, Buyer

Sarah Alyse Mendez
Sarah Alyse Mendez, Buyer

(ACKNOWLEDGMENT)

STATE OF TEXAS
COUNTY OF KLEBERG

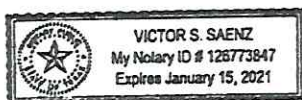
This instrument was acknowledged before me on the 14 day of July, 2020 by Tommie D. Killion and Aurora S. Killion



Victor S. Saenz
Notary Public, State of Texas

STATE OF TEXAS
COUNTY OF KLEBERG

This instrument was acknowledged before me on the 14 day of July, 2020 by Rodolfo Omar Mendez and Sarah Alyse Mendez



Victor S. Saenz
Notary Public, State of Texas

When the context requires, singular nouns and pronouns include the plural.

This instrument may be executed in multiple counterparts each of which shall be deemed an original and effective as of the date and year first written.

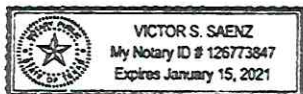
Tommie D. Killion
TOMMIE D. KILLION

Aurora S. Killion
AURORA S. KILLION

(Acknowledgment)

THE STATE OF TEXAS
COUNTY OF KLEBERG

This instrument was acknowledged before me on the 14 day of July, 2020, TOMMIE D. KILLION AND WIFE, AURORA S. KILLION.



Victor S. Saenz
NOTARY PUBLIC, STATE OF TEXAS

PREPARED IN THE LAW OFFICE OF:
Michael J. Shelly, P.C.
Attorney at Law
5102 Holly Rd., Suite A
Corpus Christi, Texas 78411

AFTER RECORDING RETURN TO:
S&S ABSTRACT AND TITLE CO
801 East Kleberg
Kingsville, TX 78363

604 East Lott
Kingsville TX 78363

Material List

280 Ft

6.5 Ft High

- 1) 4x4x8 Treated Post.
- 2) 2x4x8 Treated wood
- 3) 1x6x8 Treated wood
- 4) Cement for Post
- 5) Nails
- 6) Deck Screws

TEXAS WOOD PRO

6113 SARATOGA STE F #110
TX US
+1 3617246212
texaswoodpro@gmail.com

Estimate

ADDRESS
Sarah Mendez
640 East Lott
Kingsville, Tx 78363

ESTIMATE 1007
DATE 04/26/2021
EXPIRATION DATE 04/28/2021

DATE	SERVICE	DESCRIPTION	QTY	RATE	AMOUNT
04/28/2021	FENCE BID	310 ft fence 4x4x8 post dug 2 ft with cement 3 tier of 2x4x8 1x6x8 bottom runner (1) 4ft gate made from cedar wood pickets all wood is treated	1	7,140.00	7,140.00

NO MONEY DOWN TILL JOB IS COMPLETED.

TOTAL

\$7,140.00

Accepted By

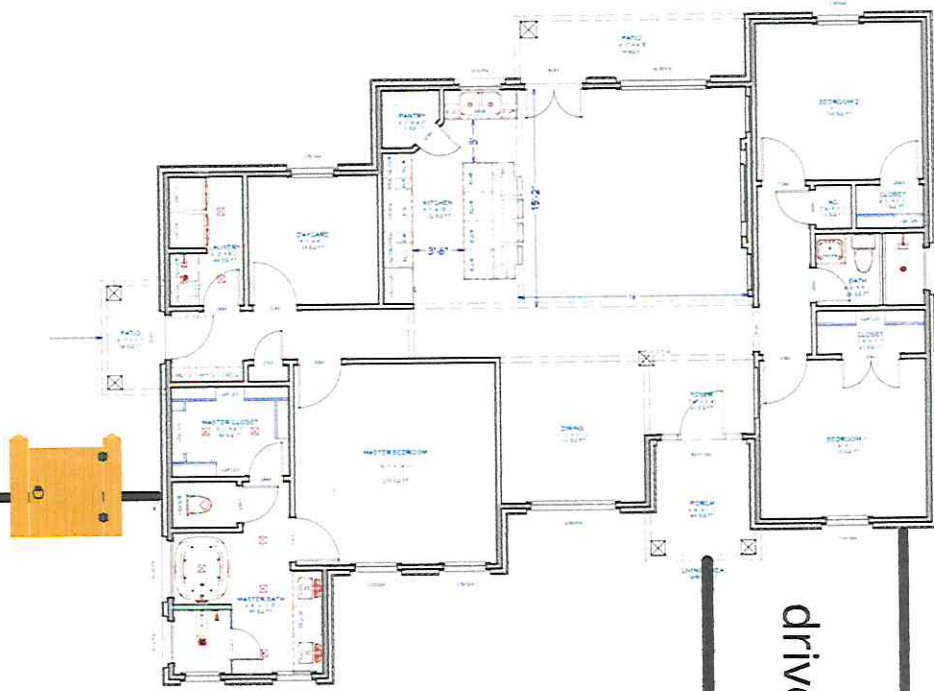
4/29/21

Accepted Date

Sarah A. Mendez

10th Street

alley



driveway

*fence is 310 ft

Lott Street

CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: May 19, 2021
TO: Historic Development Board
FROM: Brenda Joyas, CNU-A (Downtown Manager/HPO)
SUBJECT: Discuss and Consider Action to demolish the commercial building on the 5th Addition, Block 1, Lots 8-16 also known as 635 East King Avenue.
APPLICANT: Ampler Development, LLC.
CONTRACTOR: TBD

REQUEST

Discuss and Consider Action to demolish the commercial building on the 5th Addition, Block 1, Lots 8-16 also known as 635 East King Avenue.

EXHIBITS

Application, Letter of Owner, Warranty Deed, Pictures of existing commercial building and proposed new Church's Chicken establishment.

BACKGROUND & PERTINENT DATA

Due to long standing issues with the present building such as mechanical and electrical issues with foundation problems the cost to fix would be too great and would place a financial burden on the owner. With an offer to purchase and a new Texas design Church's Chicken being installed, to replace a deteriorating building, would enhance the area.

STAFF REVIEW & RECOMMENDATION

Staff contacted Carmen Martinez of the South Texas Archives to look into any possible historic information on the building and nothing was found. Staff also reviewed records at the Kleberg County Tax and Appraisal Office and found no significant information that would categorize the building at 635 East King Avenue as historical. Staff approves the demolition of the commercial building at 635 East King Avenue with no change to the historic, cultural, or architectural nature of the district or building.

BOARD REVIEW

Scope of Historical Development Board

In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

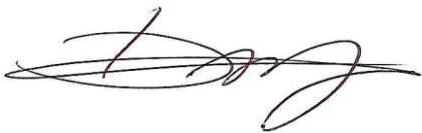
- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.
- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.

- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.
- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Brenda Joyas, CNU-A
Downtown Manager/HPO



April 26, 2021

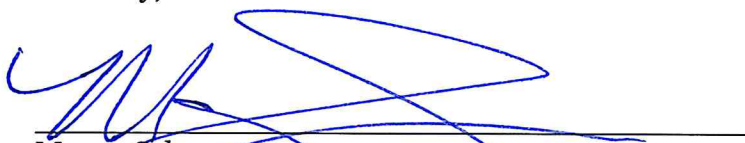
City of Kingsville
Planning and Zoning and Historical Development Board
410 W King Ave
Kingsville, TX 78363

LETTER OF AUTHORIZATION

To Whom it May Concern:

Please be advised that Manny Salazar, President/CEO of Kingsville Chamber of Commerce, Inc. owner of a tract of land located at the southwest corner of King Avenue and 11st street in Kingsville, Texas, having a common property address of 635 E King Ave, Kingsville, TX 78363 authorizes Nancy Gerstenfeld or BJ Moore with Ampler Development, LLC to act as an agent on my (our) behalf in all matters related to obtaining any permits, approvals, and licenses needed for the approval of the development of a Church's Chicken restaurant.

Sincerely,



Manny Salazar
President/CEO of Kingsville Chamber of Commerce

WARRANTY DEED

VOL 446 PAGE 54

THE STATE OF TEXAS §
COUNTY OF KLEBERG § KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, the Kingsville Independent School District has heretofore entered into a contractual agreement to convey the hereinafter described real estate to the Kingsville Chamber of Commerce, Inc.; and

WHEREAS, on the 10th day of January, 1983, the Kingsville Independent School District Board of Trustees adopted the following resolution:

RESOLVED, that Dr. E. L. Sparks, President of the Board of Trustees of Kingsville Independent School District, be and he is hereby authorized and empowered to execute and deliver a deed of the real estate belonging to the Kingsville Independent School District, located at 635 East King Street, Kingsville, Kleberg County, Texas, and more particularly described as Lots Eight (8) through Sixteen (16) inclusive in Block One (1), Fifth Addition to the City of Kingsville, Kleberg County, Texas, in accordance with the agreement entered into between the Kingsville Independent School District and the Kingsville Chamber of Commerce, Inc. on the 10th day of January, 1983, and to do everything necessary to carry such agreement into effect.

NOW, THEREFORE, Kingsville Independent School District, of the County of Kleberg and State of Texas, for and in consideration of the sum of Ten and 00/100th Dollars (\$10.00) and other valuable consideration to the undersigned paid by the grantee herein named, the receipt of which is hereby acknowledged, have GRANTED, SOLD AND CONVEYED, and by these presents do GRANT, SELL AND CONVEY unto the Kingsville Chamber of Commerce, Inc., of the County of Kleberg, and State of

VOL 446 PAGE 55

Texas, all of the following described real property in Kleberg County, Texas, to-wit:

Lots Eight (8) through Sixteen (16) inclusive in Block One (1), Fifth Addition to the City of Kingsville, Kleberg County, Texas.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging, unto the said grantee, its successors and assigns forever; and it does hereby bind itself, its successors and assigns to WARRANT and FOREVER DEFEND all and singular the said premises unto the said grantee, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

EXECUTED this 13th day of January, 1984.

KINGSVILLE INDEPENDENT SCHOOL DISTRICT

By: E. L. Sparks
E. L. Sparks
President, Board of
Trustees

THE STATE OF TEXAS §

COUNTY OF KLEBERG §

This instrument was acknowledged before me on the 13th day of January, 1984, by E. L. Sparks, President of the Board of Trustees of Kingsville Independent School District, on behalf of said Kingsville Independent School District.

Patricia W. Mosman
Notary Public, State of Texas

Mailing Address of Grantee:

PATRICIA W. MOSMAN
My Commission Expires 3-10-88

Name: Kingsville Chamber of Commerce, Inc.
635 East King Street
Kingsville, Texas 78363

VOL 446 PAGE 56

FILED FOR RECORD	At <u>4:12</u> o'clock <u>P</u> M
	JAN 13 1984
URA DEAN WARE Clerk of Court, Wayne County, Texas	
By <u>[Signature]</u> Deputy	

78/
160639RECORDED 9th DAY OF JANUARY A.D., 1984 AT 8:12 O'CLOCK A.M.URA DEAN WARE, COUNTY CLERK
(County Court Seal)By: Dora Silva, Deputy

Historical Development Board Review Application

Applicant: Ampler Development LLC
Address: 4700 Falls of Neuse Rd, Suite 400 Raleigh, NC 27609
Contact: Cell: 786-208-9694 **Home:** _____
Email: ngerstenfeld@amplergroup.com

Property Owner: Kingsville Chamber of Commerce, Inc.
Address: PO Box 5032, Kingsville, TX 78364
Contact: Cell: 361-522-5518 **Home:** _____

Property Location and Description: 635 E King Ave
Lots 18-16, Block 1, Fifth Addition to the City of Kingsville

Description of Work: Demolition of the existing Kingsville Chamber of Commerce
Construction of new Church's Chicken building, paving, and associated utilities

Contractor: TBD
Contact: Cell: TBD **Home:** TBD
Email: TBD

Documents Required:

1. Sketch, Drawing, Plans, Site Plans, Mock-ups
2. Photographs (Historic, Current, Surrounding Structures)
3. Materials List or Samples
4. Proof of Ownership
5. Letter of Representation and Work Approval from Property Owner (If Applicable)

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: Ampler Development, LLC

Signature: [Signature] Date: 4/29/2021

Hearing Date: _____ Approved ☐ Disapproved with conditions ☐ Disapproved ☐

- Meetings are held at City Hall, Helen Kleberg Groves Community Room, 400 W King Ave.
- If the Board disapproves the application with recommended changes, the applicant has 5 days to inform the City if he/she accepts the changes.
- If the application is disapproved or if the applicant does not accept all recommendations, he/she may appeal the Boards decision by informing the City within the 5 day period.
- The Board only hears cases when the owner is present or represented.
- Call 361-595-8055 for information.

Church's Chicken (Kingsville) – Photograph Log

Existing Chamber of Commerce Building

Facing Northwest (South Wall)



Facing Northwest (South Wall)



Facing North (South Wall)



Facing Northeast (West Wall)



Facing Southeast (West Wall)

Item #6.



Facing West (North Wall)



Facing South (North Wall)

Item #6.



Facing South (North Wall)





Proposed Church's Chicken (Typical Exterior Photos)







Proposed Church's Chicken (Typical Interior Photos)



CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: May 19, 2021
TO: Historic Development Board
FROM: Brenda Joyas, CNU-A (Downtown Manager/HPO)
SUBJECT: Discuss and Consider Action to build a new Texas design Church's Chicken on the 5th Addition, Block 1, Lots 8-16 also known as 635 East King Avenue.
APPLICANT: Ampler Development, LLC.
CONTRACTOR: TBD

REQUEST

Discuss and Consider Action to build a new Texas design Church's Chicken on the 5th Addition, Block 1, Lots 8-16 also known as 635 East King Avenue.

EXHIBITS

Application, Letter of Owner, Warranty Deed, Pictures of existing commercial building and proposed new Church's Chicken establishment.

BACKGROUND & PERTINENT DATA

Due to long standing issues with the present building such as mechanical and electrical issues with foundation problems the cost to fix would be too great and would place a financial burden on the owner. With an offer to purchase and a new Texas design Church's Chicken being installed, to replace a deteriorating building, would enhance the area.

STAFF REVIEW & RECOMMENDATION

The new Texas Design by Ampler Development, LLC will greatly enhance the location with bored cultured stone, fiber cement wood board panel, neutral colors of gray, brown, and black with pops of blue and yellow colors would make an eye catching new addition to East King Avenue. Staff does not find a negative change to the historic, cultural or architectural nature of the district and recommends approval.

BOARD REVIEW

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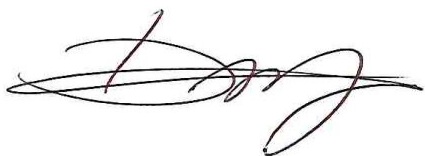
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SIGNATURES



Brenda Joyas, CNU-A
Downtown Manager/HPO

Historical Development Board Review Application

Applicant: Ampler Development LLC
Address: 4700 Falls of Neuse Rd, Suite 400 Raleigh, NC
Contact: Cell: 786-208-9694 **Home:** _____
Email: ngerstenfeld @ amplergrp.com

Property Owner: Kingsville Chamber of Commerce, Inc.
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Property Location and Description: 635 E King Ave
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Construction of new Church's Chicken building, paving, and associated utilities

Contractor: TBD
Contact: Cell: TBD **Home:** TBD
Email: TBD

Documents Required:

1. Sketch, Drawing, Plans, Site Plans, Mock-ups
2. Photographs (Historic, Current, Surrounding Structures)
3. Materials List or Samples
4. Proof of Ownership
5. Letter of Representation and Work Approval from Property Owner (If Applicable)

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: Ampler Development, LLC

Signature: [Signature] Date: 4/29/2021

Hearing Date: _____ Approved ☐ Disapproved with conditions ☐ Disapproved ☐

- Meetings are held at City Hall, Helen Kleberg Groves Community Room, 400 W King Ave.
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- If the application is disapproved or if the applicant does not accept all recommendations, he/she may appeal the Boards decision by informing the City within the 5 day period.
- The Board only hears cases when the owner is present or represented.
- Call 361-595-8055 for information.



April 26, 2021

City of Kingsville
Planning and Zoning and Historical Development Board
410 W King Ave
Kingsville, TX 78363

LETTER OF AUTHORIZATION

To Whom it May Concern:

Please be advised that Manny Salazar, President/CEO of Kingsville Chamber of Commerce, Inc. owner of a tract of land located at the southwest corner of King Avenue and 11st street in Kingsville, Texas, having a common property address of 635 E King Ave, Kingsville, TX 78363 authorizes Nancy Gerstenfeld or BJ Moore with Ampler Development, LLC to act as an agent on my (our) behalf in all matters related to obtaining any permits, approvals, and licenses needed for the approval of the development of a Church's Chicken restaurant.

Sincerely,



Manny Salazar
President/CEO of Kingsville Chamber of Commerce

WARRANTY DEED

VOL 446 PAGE 54

THE STATE OF TEXAS §
COUNTY OF KLEBERG § KNOW ALL MEN BY THESE PRESENTS:

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WHEREAS, on the 10th day of January, 1983, the Kingsville Independent School District Board of Trustees adopted the following resolution:

RESOLVED, that Dr. E. L. Sparks, President of the Board of Trustees of Kingsville Independent School District, be and he is hereby authorized and empowered to execute and deliver a deed of the real estate belonging to the Kingsville Independent School District, located at 635 East King Street, Kingsville, Kleberg County, Texas, and more particularly described as Lots Eight (8) through Sixteen (16) inclusive in Block One (1), Fifth Addition to the City of Kingsville, Kleberg County, Texas, in accordance with the agreement entered into between the Kingsville Independent School District and the Kingsville Chamber of Commerce, Inc. on the 10th day of January, 1983, and to do everything necessary to carry such agreement into effect.

NOW, THEREFORE, Kingsville Independent School District, of the County of Kleberg and State of Texas, for and in consideration of the sum of Ten and 00/100th Dollars (\$10.00) and other valuable consideration to the undersigned paid by the grantee herein named, the receipt of which is hereby acknowledged, have GRANTED, SOLD AND CONVEYED, and by these presents do GRANT, SELL AND CONVEY unto the Kingsville Chamber of Commerce, Inc., of the County of Kleberg, and State of

VOL 446 PAGE 55

Texas, all of the following described real property in Kleberg County, Texas, to-wit:

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TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging, unto the said grantee, its successors and assigns forever; and it does hereby bind itself, its successors and assigns to WARRANT and FOREVER DEFEND all and singular the said premises unto the said grantee, its successors and assigns, against every person whosoever lawfully claiming or to claim the same or any part thereof.

EXECUTED this 13th day of January, 1984.

KINGSVILLE INDEPENDENT SCHOOL DISTRICT

By:

E. L. Sparks
E. L. Sparks
President, Board of
Trustees

THE STATE OF TEXAS §

COUNTY OF KLEBERG §

This instrument was acknowledged before me on the 13th day of January, 1984, by E. L. Sparks, President of the Board of Trustees of Kingsville Independent School District, on behalf of said Kingsville Independent School District.

Patricia W. Mosman
Notary Public, State of Texas

Mailing Address of Grantee:

Name: Kingsville Chamber of Commerce, Inc.
635 East King Street
Kingsville, Texas 78363

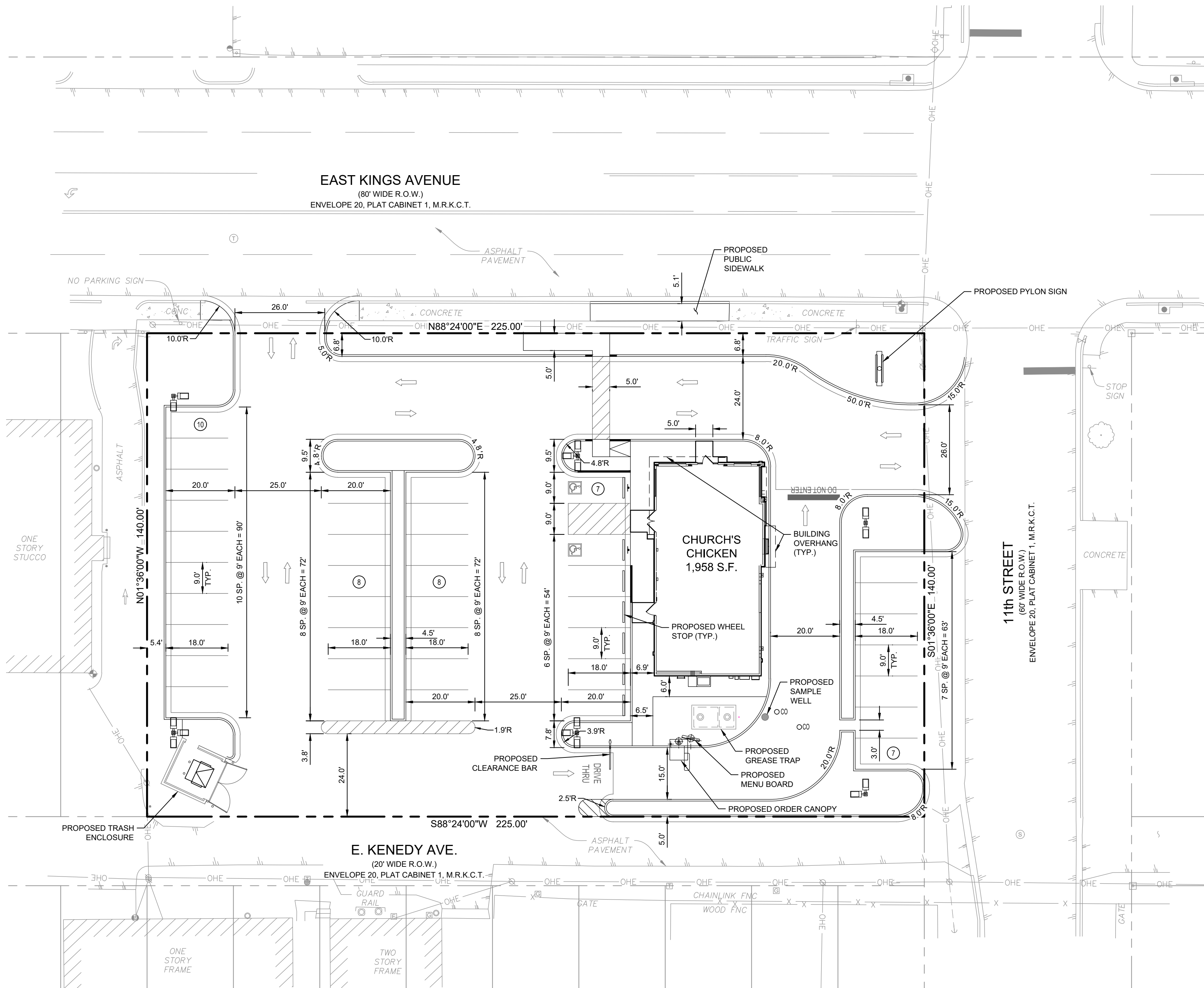
PATRICIA W. MOSMAN
My Commission Expires 3-10-88

VOL 446 PAGE 56

FILED FOR RECORD	At <u>4:12</u> o'clock <u>P</u> M
	JAN 13 1984
URA DEAN WARE Clerk of Court, Montgomery County, Texas	
By <u>[Signature]</u> Deputy	

78/
160639RECORDED 9th DAY OF JANUARY A.D., 1984 AT 8:12 O'CLOCK A.M.URA DEAN WARE, COUNTY CLERK
(County Court Seal)By: Dora Silva, Deputy

Drawing name: K:\304_001\068693639-Church's Chicken\Site Plan.dwg 2.1.1 SITE PLAN (DIMENSION CONTROL PLAN) May 04, 2021 11:55am by: bise.covm
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



CAUTION!!!
EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

LEGEND	
	PROPERTY BOUNDARY
	PROPOSED CURB TRANSITION (0' TO 6' OR AS SPECIFIED)
	EXISTING OVERHEAD ELECTRIC
	PROPOSED PARKING COUNT
	PROPOSED ACCESSIBLE PARKING SPACE
	PROPOSED BARRIER FREE RAMP
	PROPOSED SIDEWALK CHASE
	PROPOSED LIGHT POLE
	PROPOSED SANITARY SEWER CLEANOUT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER POLE
	EXISTING SIGN
	EXISTING SIGN

- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL CONSTRUCTION DRAWINGS FOR EXACT BUILDING DIMENSIONS. REFER TO LANDSCAPE ARCHITECT'S PLANS FOR DIMENSIONS AND DETAIL OF HARDSCAPE.
 - ALL CURB RADII ARE 5 FEET UNLESS DIMENSIONED OTHERWISE.
 - BUILDING, MECHANICAL EQUIPMENT AND SIGNS ARE SHOWN HEREON FOR REFERENCE ONLY. REFER TO CONSTRUCTION PLANS OF THOSE ITEMS FOR LOCATIONS AND DIMENSIONS.
 - ALL CONSTRUCTION SPECIFICATIONS WITHIN CITY RIGHT-OF-WAY AND EASEMENTS SHALL COMPLY WITH CITY OF KINGSVILLE STANDARDS. PRIOR APPROVAL TO USE ANY NON-STANDARD MATERIAL IS REQUIRED.

SITE DATA TABLE	
GENERAL SITE DATA	
LEGAL DESCRIPTION	LOTS 8-16, BLOCK 1, FIFTH ADDITION TO THE CITY OF KINGSVILLE, KLEBURG COUNTY, TEXAS VOL. 446, PG. 54, D.R.K.C.T.
ZONING	C-2 (RETAIL)
SITE ACREAGE	0.723 ACRES (31,500 SF)
ADDRESS	635 E. KINGS AVE.
BUILDING DATA	
BUILDING SQUARE FOOTAGE	1,958 SQ. FT.
BUILDING HEIGHT	19'-0"
PARKING DATA	
REQUIRED PARKING SPACES (RESTAURANT W/ DRIVE-THRU)	700 SF (DINING AREA) @ 1:50 = 14
STANDARD SPACES PROVIDED	38 SPACES
ACCESSIBLE SPACES PROVIDED	2 SPACE
TOTAL SPACES PROVIDED	40 SPACES



REVISIONS: Item #7.

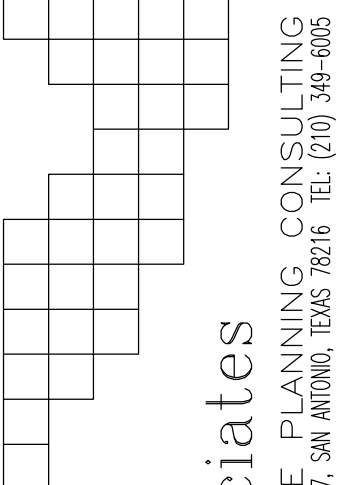
SITE PLAN

Church's Chicken
635 E. Kings Ave.
Kingsville, Tx. 78363



Kimley»Horn

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
601 MAIN ST., SUITE 200, KINGSVILLE, TX 78363
PHONE: 210-541-1966 FAX: 210-541-8669
WWW.KIMLEY-HORN.COM TBE FIRM NO. 928

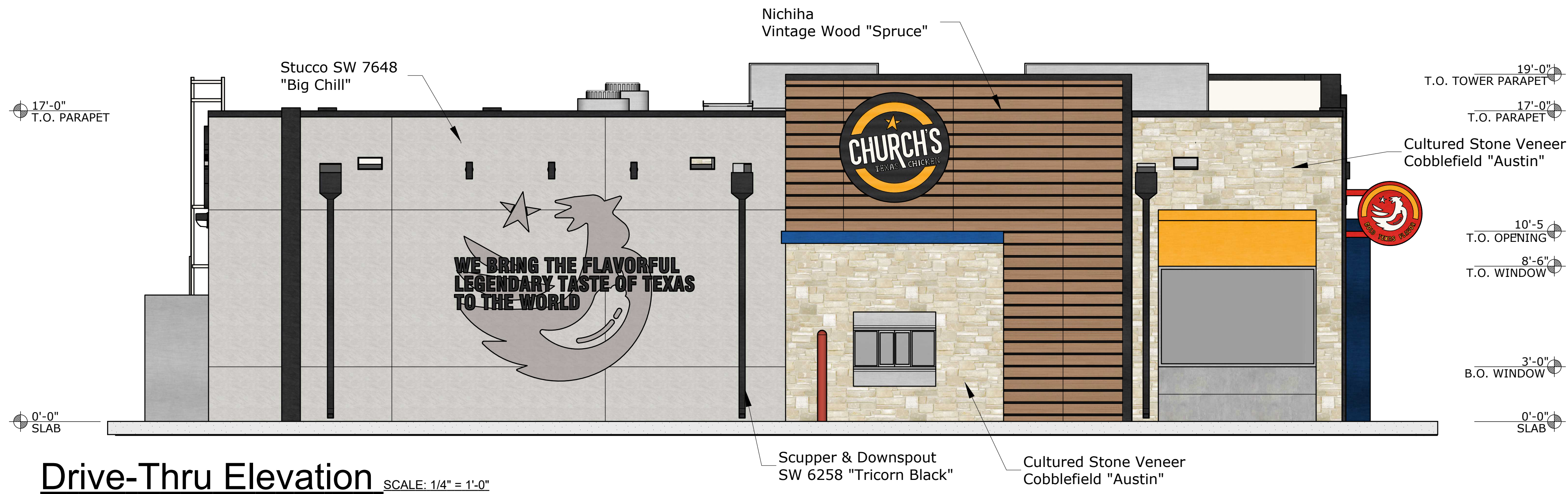
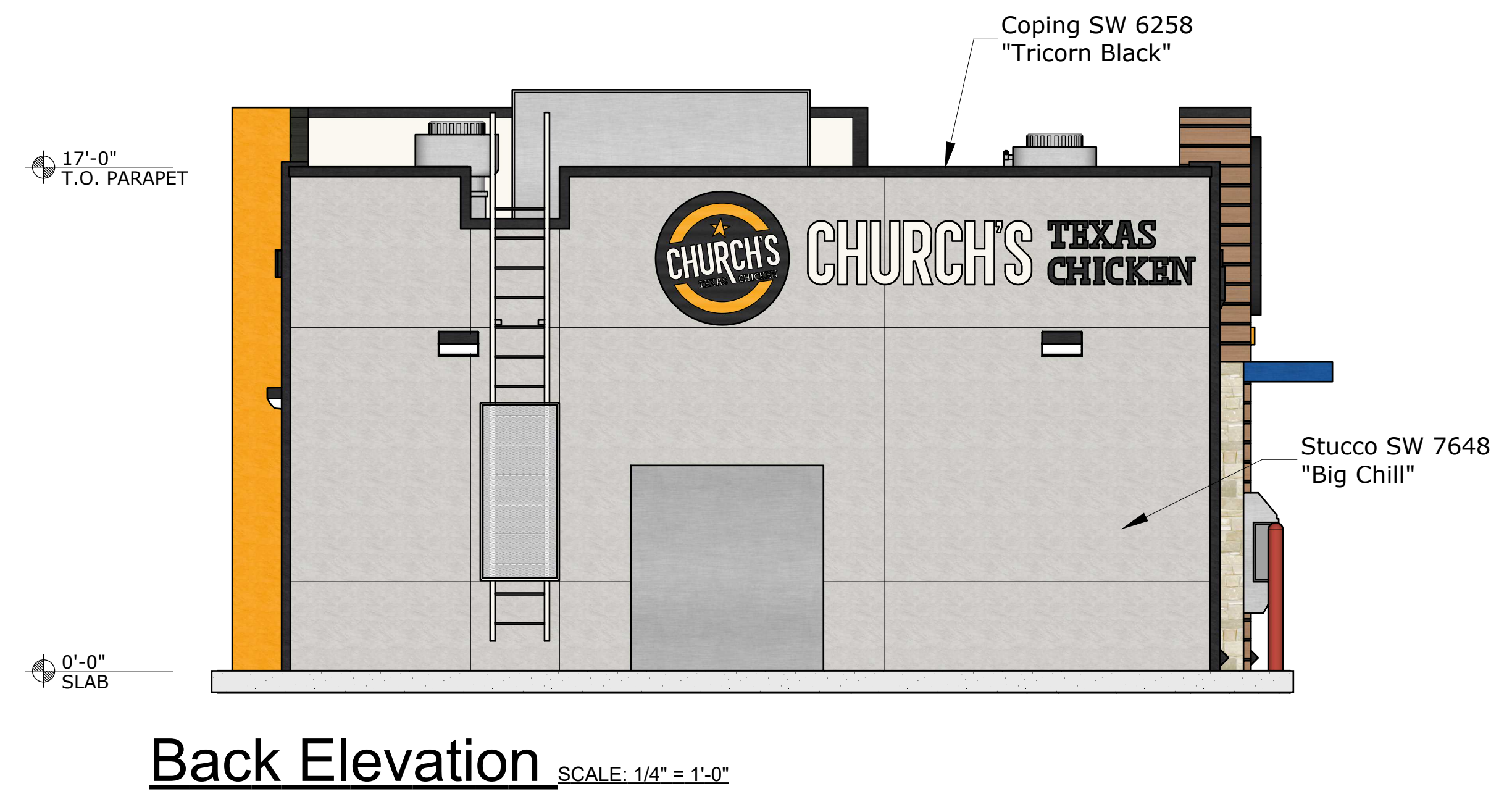


Charles William Pope & Associates
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DATE: 02.01.2021
JOB NO: 068693639
DRAWN BY: MJG
SHEET NUMBER:

SP-1

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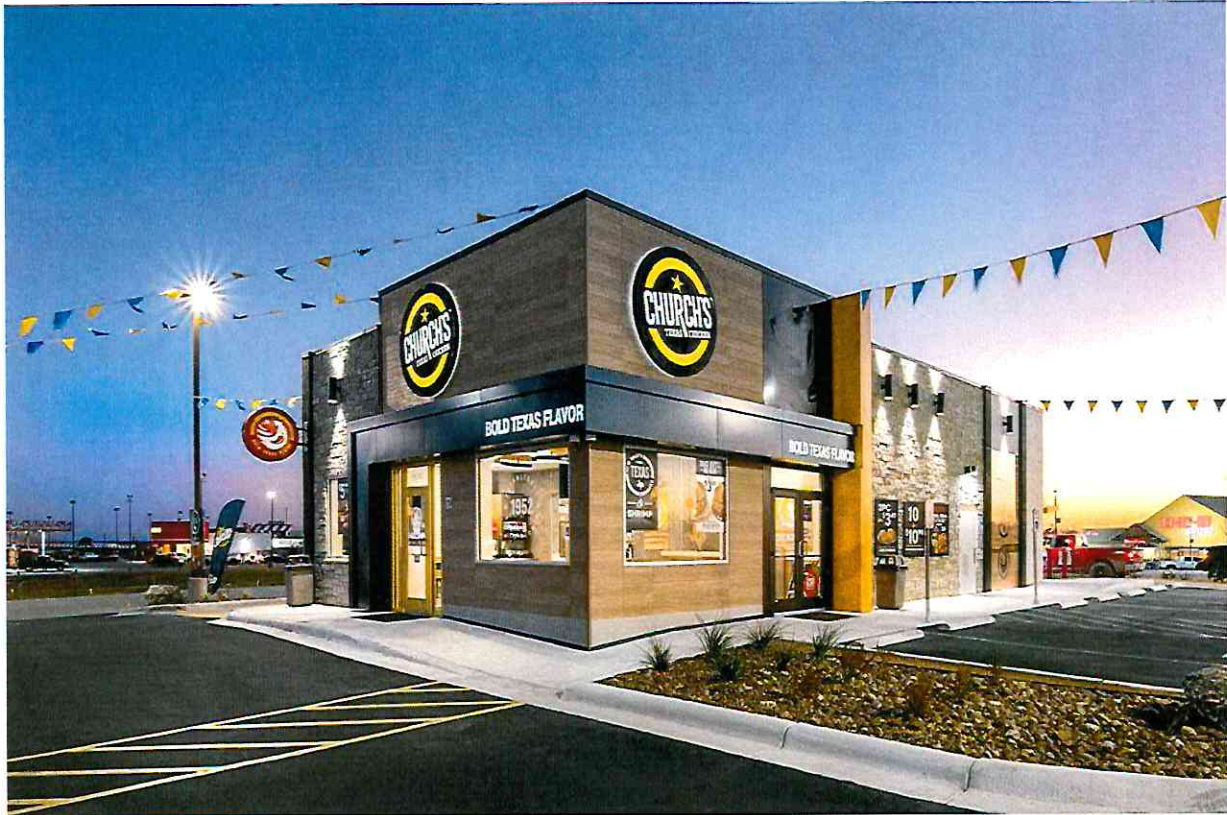


Material and Color Legend

	NICHIHA Fiber Cement Board Panel Vintage Wood "Spruce"
	Field Color: Entry Walls
	NICHIHA Fiber Cement Wall Panels ArchitecturalBlock Modern Series "Gray"
	Field Color: Accent Wall Base
	BORAL CULTURED STONE Stone Veneer Cobblefield "Austin"
	Field Color: Accent Walls
	SHERWIN WILLIAMS Exterior Paint SW 7648 "Big Chill"
	Field Color: Stucco Wall Color
	SHERWIN WILLIAMS Exterior Paint SW 6258 "Tricorn Black"
	Field Color: Stucco Accent / Metal / Trim / Coping Color



Proposed Church's Chicken (Typical Exterior Photos)







Proposed Church's Chicken (Typical Interior Photos)

