

HISTORICAL DEVELOPMENT BOARD

Wednesday, February 15, 2023, 4:00 pm

Regular Meeting

Helen Kleberg Groves Community Room, 1st Floor of City Hall
400 W King, Kingsville, Texas

BOARD MEMBERS

Maggie Salinas, Chairman

Daniel J. Burt

Jeri L.S Morey

Chris Maher

Lucia Perez

David Thibodeaux

Chris Maher

Taulia Laureno

CITY STAFF

Kobby Agyekum

Senior Planner/

Historic Preservation Officer

Herlinda Solis

Administrative Assistant II

The following rules of conduct pertaining to public comments have been adopted by this Board:

1. Give your name and complete address.
2. No one may speak more than twice on the same item.
3. No one may speak more than five minutes at a time without permission from the Chairman.
4. No one may speak a second time on a question until every person who wants to speak has done so.
5. All submissions of evidence, i.e., photos, drawings, will be retained by the Historical Development Board and will become a part of the permanent file.

When speaking at the podium, if necessary, adjust the microphone and clearly speak into the microphone.

- **CALL TO ORDER**
- **ROLL CALL**
- **APPROVAL OF MINUTES FROM PREVIOUS MEETING(s)- January 18, 2023**
- **PUBLIC COMMENTS FOR ALL AGENDA & NON-AGENDA ITEMS (SEE MEETING RULES)**
- **POSTPONEMENTS/ADJUSTMENTS TO THE AGENDA**

- **AGENDA ITEMS**

Item #1 Discuss and Consider Action on a request to replace stucco on upper west side of community center, on ORIG TOWN, BLOCK 44, LOT 11-16, (COMMUNITY LIFE CENTER), (E X E M P T) also known as 123 North 5th Street, Kingsville Texas 78363

Item #2 Discuss and Consider Action on a request to replace exterior sidings on the front with Veneer stucco, new wrought iron fence and replace bay windows with 12 feet metal and glass door on commercial building on HENRIETTA HEIGHTS Block 2, Lots 4-6 also known as 625 West Santa Gertrudis Avenue, Kingsville, TX 78363

Item #3 Discuss and Consider Action on a request to replace windows, and paint sidings on residential building on 6TH, Block 8, Lots 17 & 18 also known as 630 East Henrietta Avenue, Kingsville, TX 78363

Item #4 Discuss and Consider Action on a request to replace windows, and paint sidings on residential building on 6TH, Block 8, Lots 17 & 18 also known as 309 North 6th Street, Kingsville, TX 78363

- **STAFF REPORT:** - None

- **MISCELLANEOUS** – *Any topic may be discussed but no action taken at this time.*

- **ADJOURNMENT**

PUBLIC NOTICE

It is the intention of the City of Kingsville to comply in all aspects with the Americans with Disabilities Act (ADA). If you plan on attending a meeting to participate or observe and need special assistance beyond what is routinely provided, the city will attempt to accommodate you in every reasonable manner. Please contact the City Secretary at 361-595-8002 at least two business days prior to the meeting to inform the City of your specific needs and to determine if accommodation is feasible.

I certify that this agenda was posted at least seventy-two (72) hours before the commencement of the Historical Development Board Meeting scheduled for Wednesday, February 10, 2023.

Kwabena Agyekum
Kobby Agyekum
Senior Planner /Historic Preservation Officer

Posted
@ 12:00 pm
On 02/10/2023
By K.A.A.

**HISTORICAL DEVELOPMENT BOARD
REGULAR MEETING
WEDNESDAY, JANUARY 18, 2023, at 4:00 PM
CITY OF KINGSVILLE
HELEN KLEBERG GROVES COMMUNITY ROOM
400 W KING AVE**

Minutes

Attendance:

Historical Board Members Present:

Maggie Salinas
David Thibodeaux
Jeri Morey
Chris Maher
Lucia Perez
Taulia Laureno

Staff:

Kwabena Agyekum, Senior Planner/HPO
Herlinda Solis, Administrative Assistant II

Historical Board Members Not Present:

Daniel Burt

1. **Call meeting to order:** Meeting was called to order at 4:00 PM
2. **Discuss and approve minutes from previous meeting** –Chris Maher made a motion to approve minutes from November 30, 2022, motion seconded by Jeri Morey.
3. **Public comments on items on or off the agenda:** None
4. **Postponements/Adjustments to the Agenda:** None

Item #1

Discuss and Consider Action to demolish an uninhabitable building at ORIG TOWN, Block 23, Lot 28 & 29, also known as 406 East Lee Avenue, Kingsville, TX 78363 as stated in the Demolition Compliance Order of the City of Kingsville dated March 14, 2021, and March 15, 2022.

Kobby Agyekum told the Board that this was a 1951 one-story dilapidated structure that was not considered to be contributing to the historic district. The property owners had been sent multiple notices to comply with the code compliance issues but all the mail was returned. David Thibodeaux made the motion to approve, Jeri Morey seconded the motion.

Item #2

Discuss and Consider Action to Remodel and renovate and an addition to existing building at ORIG TOWN, BLOCK 2 Lot 28-32 also known as 430 West Richard Avenue, Kingsville Texas 78363

Kobby Agyekum told the Board that this was a 1945 one-story on a R3 property with 4 separate structures which only one would be updated with Hardie Plank siding, updated windows and

roof. Jeri Morey found that there were no closets on the drawings submitted and in order to be classified as a bedroom it would need to be added to the plans. Kobby will request a new set of plans to be submitted and approved by the Building Official before work begins. Jeri Morey made the motion to approve under the Standards of the Secretary of the Interior #9, David Thibodeaux seconded the motion.

Item #3

Discuss and Consider Action to install a new meter pole & elect service and replace the existing shelter of the same type at ORIG TOWN, Block 77, Lot 27-29 (Tower), also known as 200 West Huisache Avenue, Kingsville, TX 78363

Kobby Agyekum told the Board that this was an existing meter pole, electric service station with a fenced structure. The contractor is upgrading the communication tower for the betterment of the community. Maggie Salinas questioned the zoning mentioned and Kobby assured her that is correct for this project. Chris Maher made the motion to approve, Lucia Perez seconded the motion.

STAFF REPORTS: None

MISCELLANEOUS: None

5. Adjournment: Meeting adjourned at 4:25 PM

ITEM

#1

CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: January 23, 2022
TO: Historic Development Board
FROM: Kobby Agyekum (Senior Planner/HPO)
SUBJECT: Discuss and Consider Action to replace stucco on upper west side of community center, on ORIG TOWN, BLOCK 44, LOT 11-16, (COMMUNITY LIFE CENTER), (E X E M P T) also known as 123 North 5th Street, Kingsville Texas 78363
APPLICANT: Terron Enterprises
CONTRACTOR: Ronald Vasquez, Mr.

REQUEST

Discuss and Consider Action to replace stucco on upper west side of community center, on ORIG TOWN, BLOCK 44, LOT 11-16, (COMMUNITY LIFE CENTER), (E X E M P T) also known as 123 North 5th Street, Kingsville Texas 78363

EXHIBITS

Application, 2022 Appraisal Roll, Kleberg County Appraisal District Information details, Data from Texas Historical Commission (Historic Resources Survey Form), Engineer's letter, Authorization letter, Drawings, and illustrations.

BACKGROUND & PERTINENT DATA

This is a 2003, rectangular plan community building with bricks on the lower bottom and stucco on the upper part, and need exterior repairs, located within the Historic District. This property is not considered contributing to the historic district with low priority for preservation but has a potential to improve the overall character of the area.

STAFF REVIEW & RECOMMENDATION

Staff has reviewed the application and found same to be in conformity with aesthetic and overall curb appeal that it is in conformity to the Standards of the Secretary of the Interior. Consequently, the staff recommend the approval of installation of the stucco and any other exterior renovations of community building at 123 North 5th Street as there would be no adverse impact to the historic, cultural, or architectural nature of the district.

BOARD REVIEW

Scope of Historical Development Board

In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

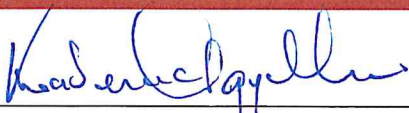
- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.

- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.
- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.
- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Kobby Agyekum
Senior Planner/HPO

Historical Development Board Review Application

Applicant: TERRON Enterprises /
Address: 3221 Ayers St. P.O. TX 78415
Contact: Cell: (361) 510-3225 Home: _____
Email: terron.ent@gmail.com

Property Owner: First UMC Kingsville
Address: 123 N. 5 St. Kingsville TX 78363
Contact: Cell: (361) 228-2078 Home: _____
Property Location and Description: Church

Description of Work: The upper ^{west} ~~west~~ side of building
about 400 sq ft stucco repair.

Contractor: RONALD VASQUEZ
Contact: Cell: (361) 510-3225 Home: _____
Email: terron.ent@gmail.com

Documents Required:

1. Sketch, Drawing, Plans, Site Plans, Mock-ups
2. Photographs (Historic, Current, Surrounding Structures)
3. Materials List or Samples
4. Proof of Ownership
5. Letter of Representation and Work Approval from Property Owner (If Applicable)

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: RONALD VASQUEZ
Signature: [Signature] Date: 12/08/2022

**BUILDING PROCESS CHECKLIST
MAJOR CONSTRUCTION
(ALL COMMERCIAL and NEW RESIDENTIAL)**

ALL PROPERTY MUST BE PLATTED PRIOR TO ISSUANCE OF A PERMIT FOR ALL CONSTRUCTION!!

Type of Building Permit Requested:

☐ Residential
☒ Commerical
☐ Sign

1. In Historic District: ☒ Yes ☐ No
 - Historical Development Board (HDB) approval is required prior to issuing a permit.
2. In Floodplain:
 - Requires elevation certificate prior to issuing a permit.
3. Is there an irrigation system in place at this time?
 - ☐ Yes ☒ No
4. If there is an irrigation system in place, is there a backflow prevention device installed?
 - ☐ Yes ☒ No
5. Will an irrigation system be installed?
 - ☐ Yes ☒ No

Construction Plans Submitted on: 08 day of 12, 2022

Please include the following:

- a. ☒ Site plan, including grading, drainage and utility plan with details
 - b. ☒ Building: floor framing & walls & ceiling framing & roofing framing
 - c. ☐ Plumbing
 - d. ☐ Electrical
 - e. ☐ Mechanical
 - f. ☐ Gas
 - g. ☐ Fire prevention
 - h. ☐ Foundation
 - i. ☐ Signs
 - j. ☐ Landscaping
 - k. ☐ Elevation- All sides
- EXISTING & PROPOSED

*** REQUIRED***

Parking Plans to include
driveway & sidewalk

**NOTE: A DESIGN PROFESSIONAL MUST PREPARE PLANS FOR NEW PROJECTS!!
PLANS MUST BE FULL-SIZE 24x36 INCHES DRAWN TO ARCHITECTS
TO ENGINEERS SCALE.**

TEXAS HISTORICAL COMMISSION

181

Project #: 00009

Historic Resources Survey Form

Local Id: 0001-25424

County: Kleburg

City: Kingsville

Address No: 123

Street Name: North 5th Street

SECTION 1

Basic Inventory Information

Current Name: First United Methodist Church Community Life Center

Historic Name:

Owner Information

Name: First United Methodist

Status:

Address: PO Box 553

City: Kingsville

State: TX

Zip: 78364

Geographic Location

Latitude: 27.517415

Longitude: -97.869434

Legal Description (Lot\Block): ORIG TOWN, BLOCK 44, LOT 11-16

Addition/Subdivision:

Year:

Property Type

Building

Current Designations:

☐

NR District

Is property contributing? ☐

☐

NHL

☐

NR

☐

RTHL

☐

OTHM

☐

HTC

☐

SAL

☐

Local

☐

Other

Architect:

Builder

Construction Date: 2003

Source Tax Appraiser

Function

Current: RELIGION-Church Hall

Historic: RELIGION-Church Hall

Recorded By: Florence H. Ruiz

Date Recorded:

6/18/2013



TEXAS HISTORICAL COMMISSION

181

Project #: 00009

Historic Resources Survey Form

Local Id: 0001-25424

County: Kleburg

City: Kingsville

Address No: 123

Street Name: North 5th Street

SECTION 2

Architectural Description

Large one-story rectangular-plan brick and stucco building with asymmetrical side-gabled roof, glass double-door entrance with sidelights and transom inset into shed-roofed block with brick columns.

☐ Additions, modifications **Explain:**

☐ Relocated **Explain:**

Stylistic Influence

No Style

Structural Details

Roof Form

Side-Gabled

Roof Materials

METAL-Standing Seam

Wall Materials

Brick, Stucco

Windows

Fixed

Doors (Primary Entrance)

METAL-Standing Seam

Plan

Rectangular

Chimneys

Porches/Canopies

FORM Shed Roof

SUPPORT Masonry pier

MATERIAL

ANCILLARY BUILDINGS:

Garage:

Barn:

Shed:

Other:

Landscape Features

TEXAS HISTORICAL COMMISSION

181

Project #: 00009

Historic Resources Survey Form

Local Id: 0001-25424

County: Kleburg

City: Kingsville

Address No: 123

Street Name: North 5th Street

SECTION 3 Historical Information

Associated Historical Context

Applicable National Register (NR) Criteria:

- ☐ **A** Associated with events that have made a significant contribution to the broad pattern of our history
- ☐ **B** Associated with the lives of persons significant in our past
- ☐ **C** Embodies the distinctive characteristics of a type, period or method of construction or represents the work of a master, or possesses high artistic value, or represents a significant and distinguishable entity whose components lack individual distinctions
- ☐ **D** Has yielded, or is likely to yield, information important in prehistory of history

Areas of Significance:

less than 50 years old; outside period of significance

Periods of Significance:

outside period of significance

Levels of Significance: ☐ National ☐ State ☐ Local

Integrity: ☐ Location ☐ Design ☐ Materials ☐ Workmanship ☐ Setting ☐ Feeling ☐ Association

Integrity Notes:

less than 50 years old

Individually Eligible? No

Within Potential NR District?: Yes

Is Property Contributing?: ☐

Priority: Low

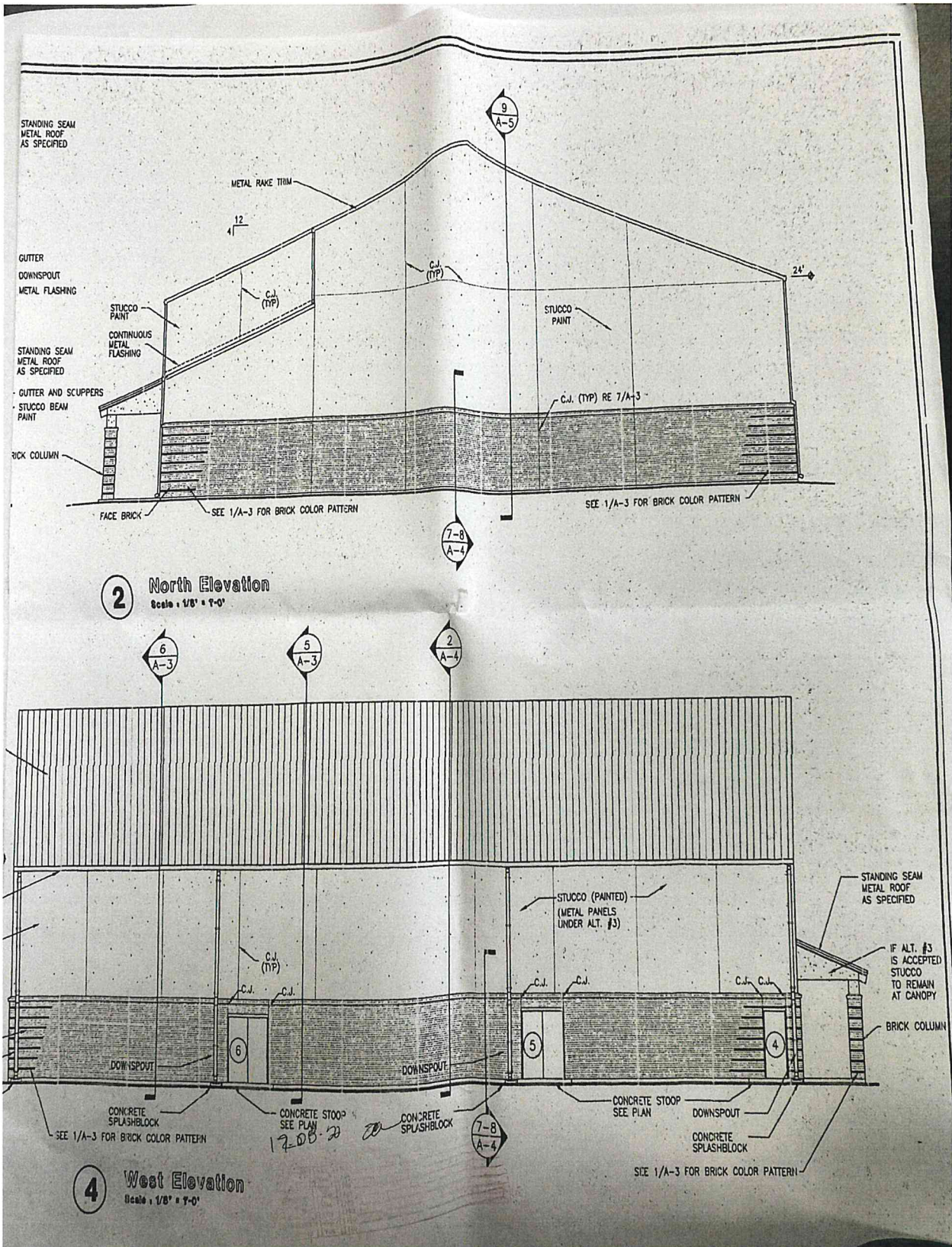
Explain:

Other Information

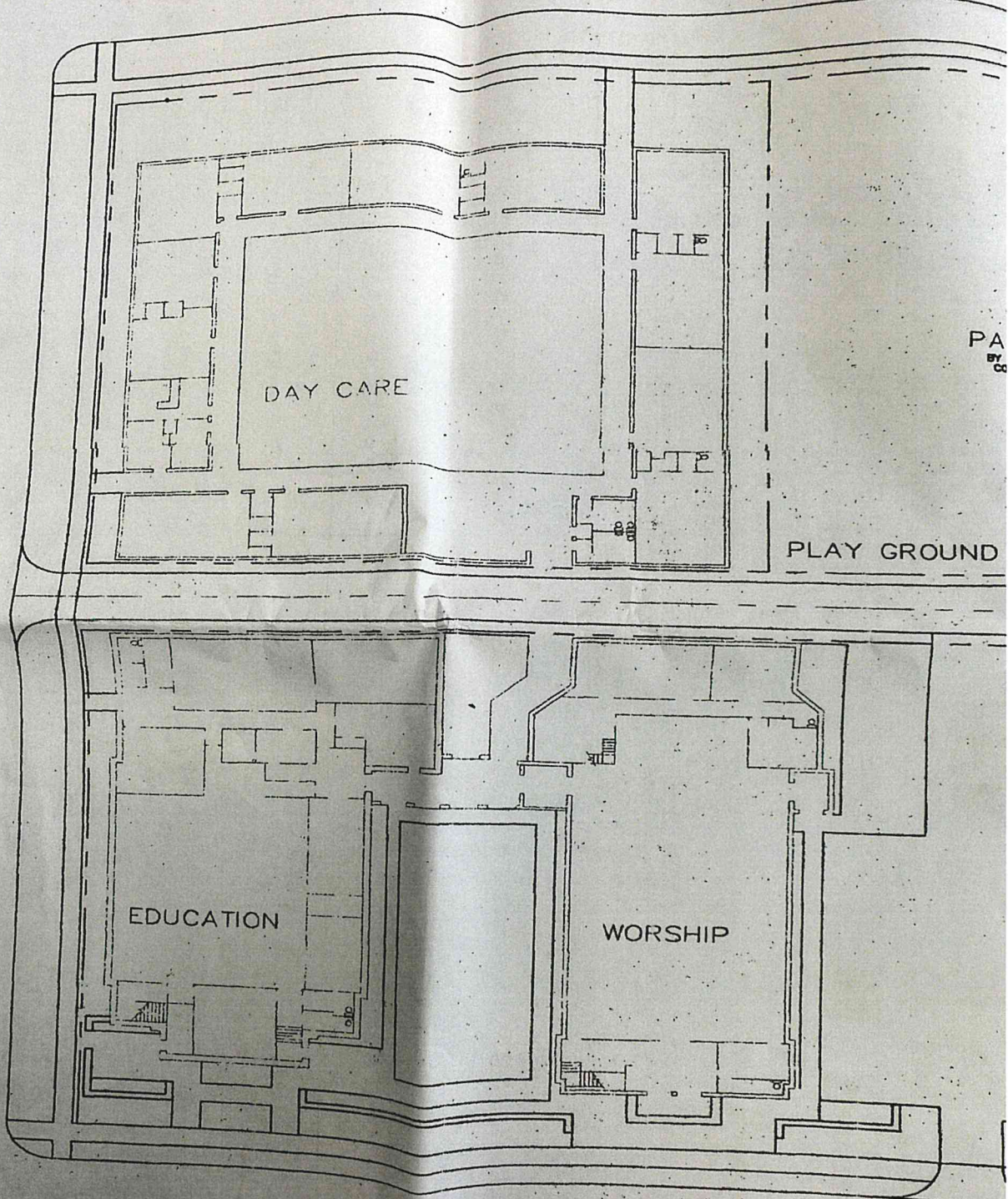
Is prior documentation available for this resource? No

Type ☐ HABS ☐ Survey ☐ Other

Documentation Details:



FOURTH STREET



PA
By
Co

PLAY GROUND

EDUCATION

WORSHIP



PLAN NORTH

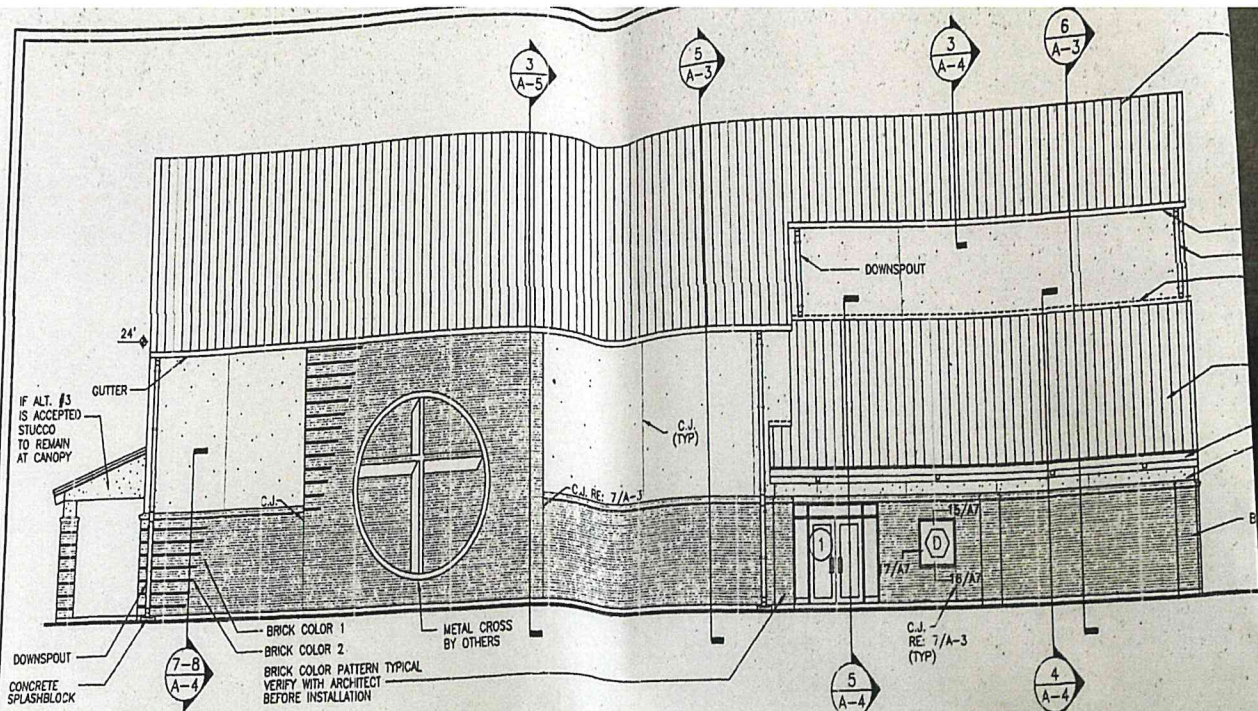
1

SITE PLAN
Scale : 1" = 30'-0"

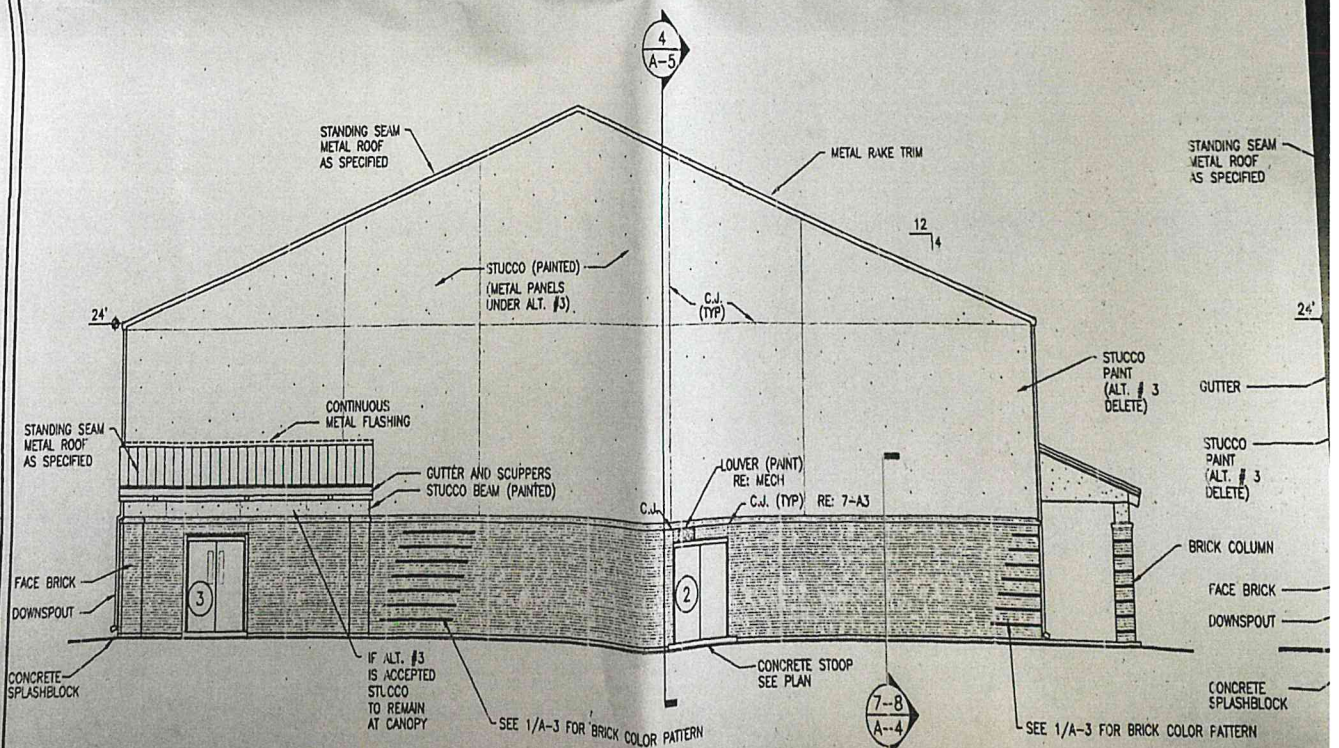
KLEBERG

12-8-2022

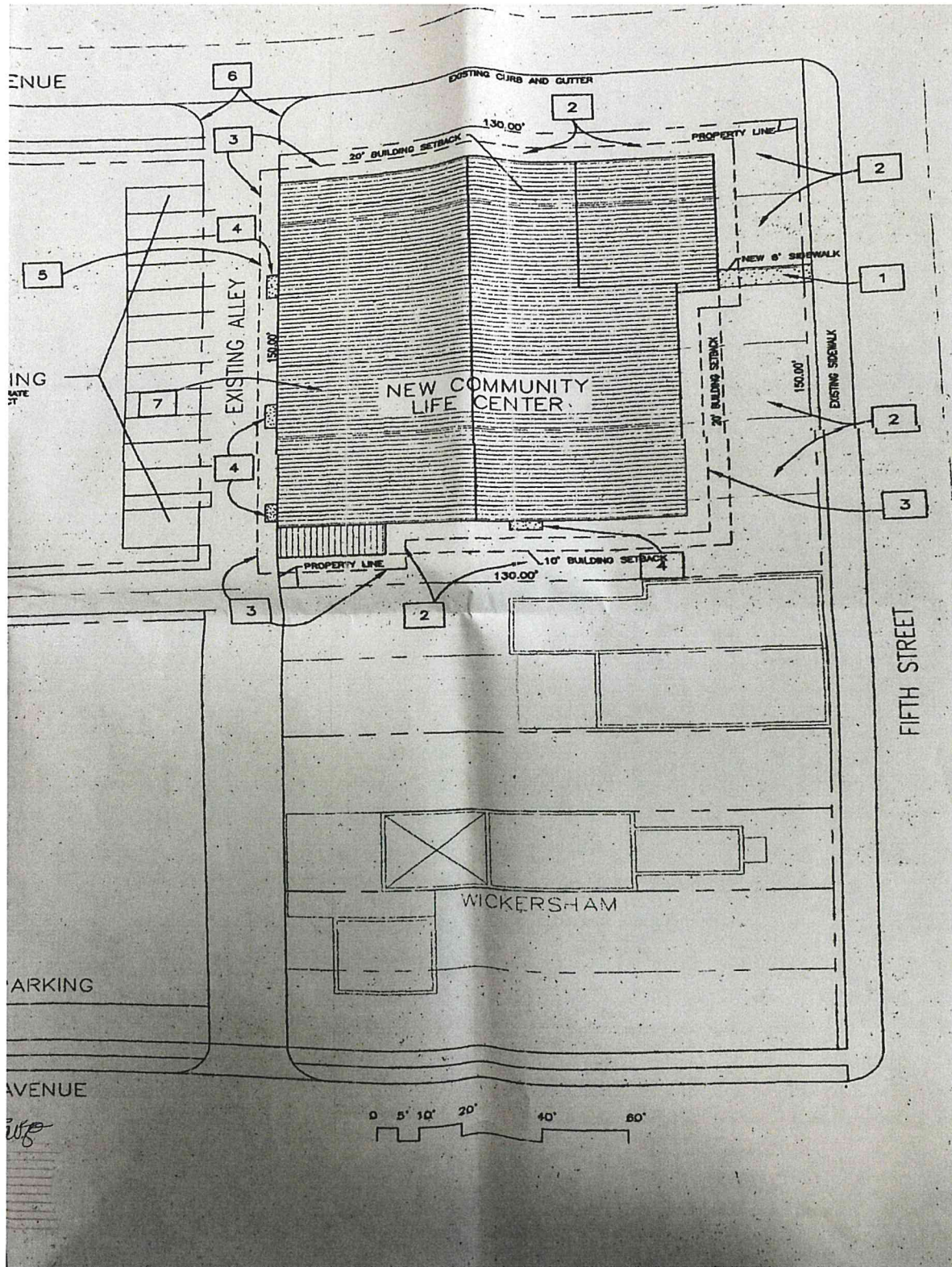
Asphalt	Yes	No
Gravel	Yes	No
Grass	Yes	No
Concrete	Yes	No
Water	Yes	No
Electric	Yes	No
Gas	Yes	No
Storm Water	Yes	No
Building Map	Yes	No

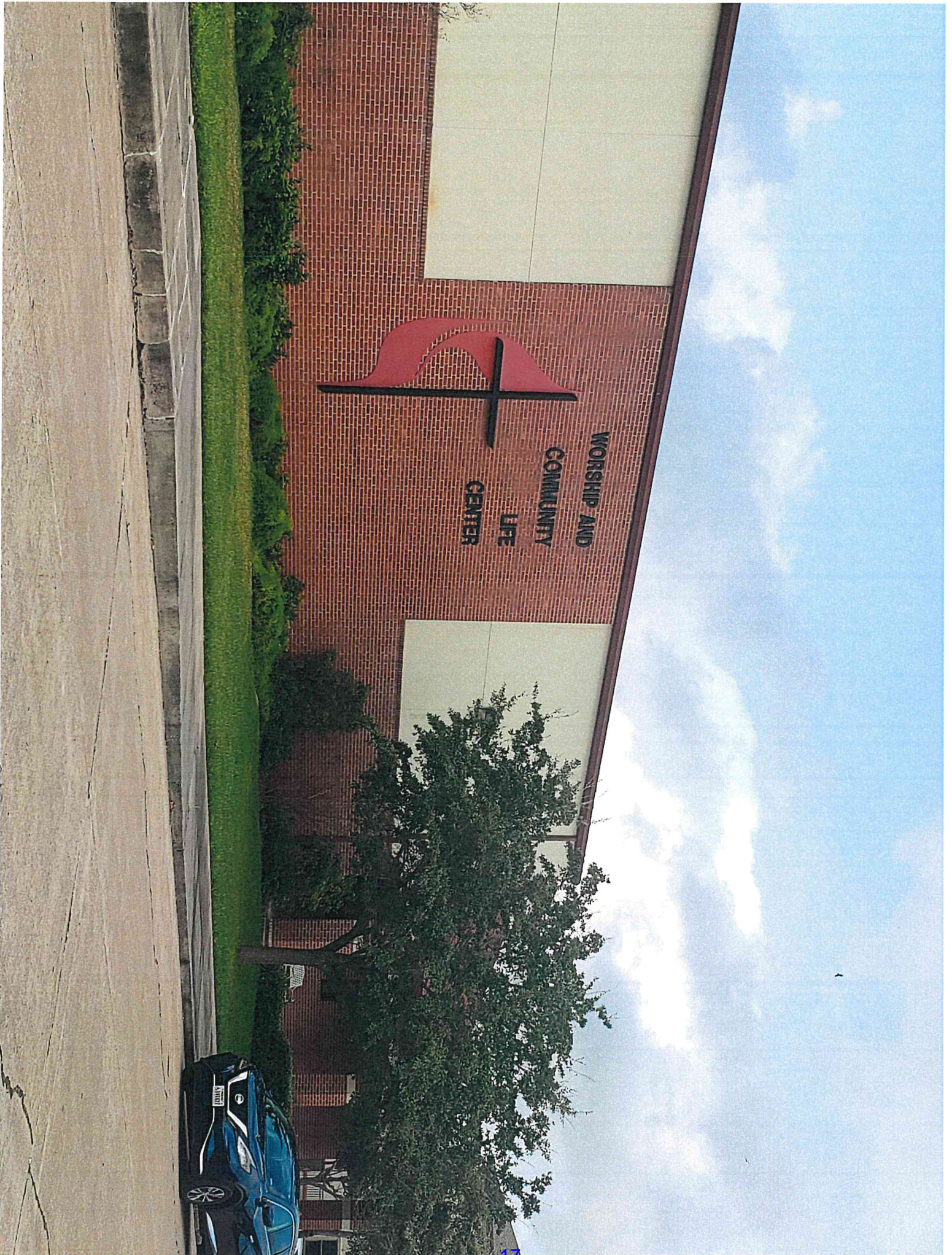


1 East Elevation
Scale: 1/8" = 1'-0"

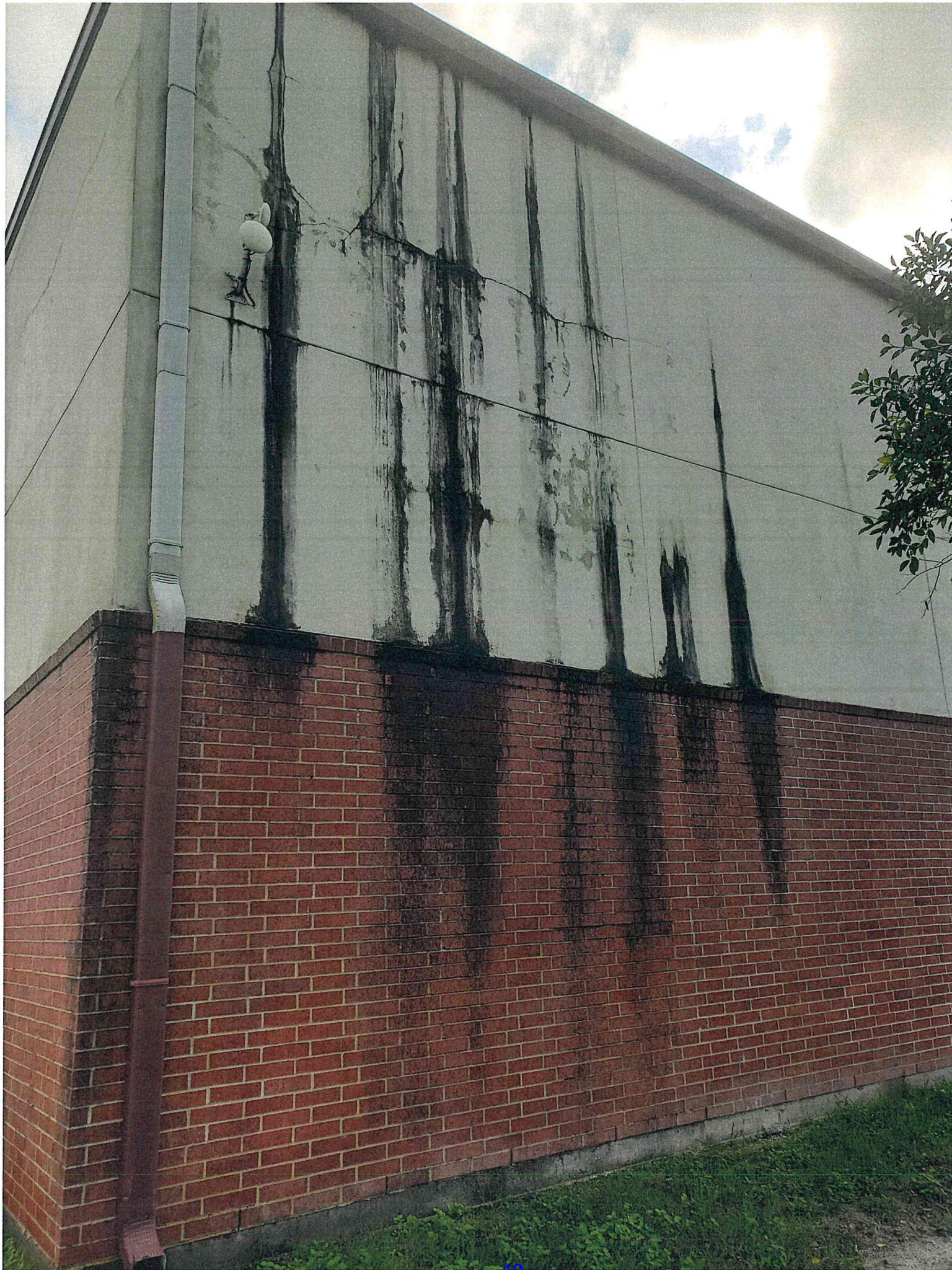


3 South Elevation
Scale: 1/8" = 1'-0"











ACCOUNT: 301846060000
PLATINUM PRO PAINTER
400 S 13TH ST
LOUISVILLE, KY 40203-1714
(800)332-6270

STORE #: 9674
9674 - CORPUS COMMERCIAL
4420 SOUTH PADRE ISLAND DRIVE
CORPUS CHRISTI, TX 78411
PH: (361)853-0256
FX: (361)853-2434
PAF9674@PPG.COM

CUST JOB #:

DATE: 12/07/2022
TIME: 2:15 PM
STORE REP: DARIO D
SALES REP:
PAGE 1 OF 1

REQUEST FOR P.O.

P.O.:

REQUEST FOR PURCHASE ORDER - NOT FOR USE AS A RECEIPT

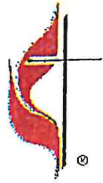
This P.O. Request should not be accepted in place of an invoice and is not valid for the return of merchandise

QTY	ITEM#	DESCRIPTION	UNIT PRICE	AMOUNT
1	72-110XI/01	PP SPR00 EXT ACR FLT WPB 72-110XI B100		
1	17-921XI/01	PP SEALG PRI WHB 17-921XI B100		

An invoice will be generated at the completion of this transaction.
Global PPG employment opportunities at www.ppgac.com/careers.

Thanks for shopping with us today!

SUBTOTAL:	
LABOR:	
FREIGHT:	
RECOVERY FEE:	
TAX:	
TOTAL:	7



First UMC Kingsville

Love God. Love People. Serve.

THE UNITED METHODIST CHURCH

123 N. 5th St. Kingsville, TX. 78363

www.firstumckingsville.org

Phone: (361) 228-2078

December 8, 2022

To Whom It May Concern:

First United Methodist Church of Kingsville, a Texas non-profit corporation, whose address is P.O. Box 553, Kingsville, Texas 78364 owns and has possession of the property identified below, and is legally obligated to pay the indebtedness of a mortgage account #137741 to Kleberg First National Bank, whose address is P.O. Box 1456, Kingsville, Texas 78364.

The property located at 123 N. 5th Street, Kingsville, Texas 78363, legal description is:

Lots 11, 12, 13, 14, 15 and 16, block 44, ORIGINAL TOWNSITE OF KINGSVILLE, an addition in Kleberg County, Texas as shown on map or plat of record in Envelope 96, Map Records of Kleberg County, Texas.

First United Methodist Church of Kingsville has contracted with Terron Enterprises, whose address is 3221 Ayers, Corpus Christi, Texas 78415 to conduct repairs to the exterior walls of the Worship and Community Life Center located at 123 N. 5th Street, Kingsville, Texas 78363.

If further information is needed, please contact First United Methodist Church of Kingsville at 361.228.2078.


Jeffrey Byrd, Trustee FUMCK

Date: 12/08/2022


Terron Enterprises

Date: 12/08/2022



First UMC Kingsville

Love God. Love People. Serve.

THE UNITED METHODIST CHURCH

123 N. 5th St. Kingsville, TX. 78363

www.firstumckingsville.org

Phone: (361) 228-2078

December 8, 2022

To Whom It May Concern:

First United Methodist Church of Kingsville, a Texas non-profit corporation, whose address is P.O. Box 553, Kingsville, Texas 78364 owns and has possession of the property identified below, and is legally obligated to pay the indebtedness of a mortgage account #137741 to Kleberg First National Bank, whose address is P.O. Box 1456, Kingsville, Texas 78364.

The property located at 123 N. 5th Street, Kingsville, Texas 78363, legal description is:

Lots 11, 12, 13, 14, 15 and 16, block 44, ORIGINAL TOWNSITE OF KINGSVILLE, an addition in Kleberg County, Texas as shown on map or plat of record in Envelope 96, Map Records of Kleberg County, Texas.

First United Methodist Church of Kingsville has contracted with Terron Enterprises, whose address is 3221 Ayers, Corpus Christi, Texas 78415 to conduct repairs to the exterior walls of the Worship and Community Life Center located at 123 N. 5th Street, Kingsville, Texas 78363.

If further information is needed, please contact First United Methodist Church of Kingsville at 361.228.2078.


Jeffrey Byrd, Trustee FUMCK

Date: 12/08/2022


Terron Enterprises

Date: 12/08/2022

ITEM

#2

CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: February 8, 2022
TO: Historic Development Board
FROM: Kobby Agyekum (Senior Planner/HPO)
SUBJECT: Discuss and Consider Action to replace exterior sidings on the front with Veneer stucco, new wrought iron fence and replace bay windows with 12 feet metal and glass door on commercial building on HENRIETTA HEIGHTS Block 2, Lots 4-6 also known as 625 West Santa Gertrudis Avenue, Kingsville, TX 78363
APPLICANT: Alejandro Zaragoza, Mr.
CONTRACTOR: Rich Heritage Construction Inc.

REQUEST

Discuss and Consider Action to replace exterior sidings on the front with Veneer stucco, new wrought iron fence and replace bay windows with 12 feet metal and glass door on commercial building on HENRIETTA HEIGHTS Block 2, Lots 4-6 also known as 625 West Santa Gertrudis Avenue, Kingsville, TX 78363

EXHIBITS

Application, 2013 Appraisal Roll, Kleberg County Appraisal District Information details, Data from Texas Historical Commission (Historic Resources Survey Form), Engineer's letter, Authorization letter, Drawings, and illustrations.

BACKGROUND & PERTINENT DATA

This is a 1943 one-story L-plan gabled-roofed former residential building turned into a restaurant with flat-roofed porch supported by metal poles, replacement fixed windows, horizontal siding, and two-story side-gabled garage apartment in rear property, located within the Historic District. This property is considered as contributing to the historic district with low priority for preservation.

STAFF REVIEW & RECOMMENDATION

Staff has reviewed the application and found same to be in conformity with aesthetic and overall curb appeal that it is in conformity to the Standards of the Secretary of the Interior. Consequently, the staff recommend the approval of replacement of exterior sidings, new wrought iron fence and replacement of bay windows with 12 feet metal and glass door on commercial building at 625 West Santa Gertrudis Avenue as there would be no adverse impact to the historic, cultural, or architectural nature of the district.

BOARD REVIEW

Scope of Historical Development Board

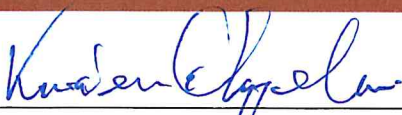
In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.
- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.
- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.
- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Kobby Agye Kum
Senior Planner/HPO

Historical Development Board Review Application

Date of Request: 2/8/23 Property is zoned: Commercial

Property Location and Description: 625 W. Santa Gertrudis St.

Year Built: 1940 Style, Period, Condition, Context or other Comments: _____

exterior siding

Description of Work: Change Front Elevation to

Stucco Veneer, New Rod Iron Fence

Replace bay windows with 12' metal & glass door

Applicant: Alejandro Zaragoza A

Address: 1803 Margaret Ln. Kingville

Contact: Cell: 361-695-3855 Office: _____ Home: _____ Email: _____


Contractor: Rich Heritage Construction Inc.

Contact: Cell: 956 821-8902 Office: _____ Home: _____ Email: rubenruiz11@yahoo.com

Documents Required:

	Req'd	Have
1. Building or Planning Department Application(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Sketch, Drawing, Plans, Site Plans, Mock-ups	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Photographs (Historic, Current, Surrounding Structures)	<input type="checkbox"/>	<input type="checkbox"/>
4. Materials List or Samples	<input type="checkbox"/>	<input type="checkbox"/>
5. Proof of Ownership	<input type="checkbox"/>	<input checked="" type="checkbox"/>

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

Print Name: Ruben Ruiz Jr Signature: 

Hearing Date: _____ Approved ☐ Disapproved with conditions ☐ Disapproved ☐

- Meetings are held at City Hall, Helen Kleberg Groves Community Room, 400 W King Ave.
- If the Board disapproves the application with recommended changes, the applicant has 5 days to inform the City if he/she accepts the changes.
- If the application is disapproved or if the applicant does not accept all recommendations, he/she may appeal the Board's decision by informing the City within the 5 day period.
- The Board only hears cases when the owner is present or represented.
- Call 361-595-8055 for information.

TEXAS HISTORICAL COMMISSION

891

Project #: 00009

Historic Resources Survey Form

Local Id: 0001-13303

County: Kleburg

City: Kingsville

Address No: 625

Street Name: West Santa Gertrudis Avenue

SECTION 1

Basic Inventory Information

Current Name: Young's Pizza

Historic Name:

Owner Information

Name: Conard Scott R.

Status:

Address: 1119 Kathleend St

City: Kingsville

State: TX

Zip: 78363

Geographic Location

Latitude: 27.522459

Longitude: -97.875951

Legal Description (Lot\Block): HENRIETTA HGTS, BLOCK 2, LOT 4-6

Addition/Subdivision: HENRIETTA HEIGHTS

Year:

Property Type

Building

Current Designations:

☐

NR District

Is property contributing? ☐

☐

NHL

☐

NR

☐

RTHL

☐

OTHM

☐

HTC

☐

SAL

☐

Local

☐

Other

Architect:

Builder

Construction Date: 1950

Source Tax Appraiser

Function

Current: DOMESTIC-Single Dwelling

Historic: COMMERCE-Business

Recorded By: Stefan & Daniella

Date Recorded:

10/7/2012



TEXAS HISTORICAL COMMISSION

891

Project #: 00009

Historic Resources Survey Form

Local Id: 0001-13303

County: Kleburg

City: Kingsville

Address No: 625

Street Name: West Santa Gertrudis Avenue

SECTION 2

Architectural Description

One-story L-plan hip- and gabled-roof former residential building turned into a restaurant with flat-roofed porch supported by metal poles, replacement fixed windows, horizontal siding, and two-story side-gabled garage apartment in rear of property.

☒ Additions, modifications **Explain:** additions

☐ Relocated **Explain:**

Stylistic Influence

No Style

Structural Details

Roof Form

Hipped

Roof Materials

Composition Shingles

Wall Materials

Wood siding

Windows

Sash

Doors (Primary Entrance

Composition Shingles

Plan

L-Plan

Chimneys

Porches/Canopies

FORM Flat Roof

SUPPORT Other: metal poles

MATERIAL Wood

ANCILLARY BUILDINGS:

Garage: 1

Barn:

Shed:

Other:

Landscape Features

TEXAS HISTORICAL COMMISSION

891

Project #: 00009

Historic Resources Survey Form

Local Id: 0001-13303

County: Kleburg

City: Kingsville

Address No: 625

Street Name: West Santa Gertrudis Avenue

SECTION 3 Historical Information

Associated Historical Context

Planning/Development

Applicable National Register (NR) Criteria:

- ☒ **A** Associated with events that have made a significant contribution to the broad pattern of our history
- ☐ **B** Associated with the lives of persons significant in our past
- ☐ **C** Embodies the distinctive characteristics of a type, period or method of construction or represents the work of a master, or possesses high artistic value, or represents a significant and distinguishable entity whose components lack individual distinctions
- ☐ **D** Has yielded, or is likely to yield, information important in prehistory of history

Areas of Significance:

Community Development

Periods of Significance:

Levels of Significance: ☐ National ☐ State ☒ Local

Integrity: ☒ Location ☐ Design ☐ Materials ☐ Workmanship ☒ Setting ☐ Feeling ☐ Association

Integrity Notes:

lacks integrity

Individually Eligible? No

Within Potential NR District?: Yes

Is Property Contributing?: ☐

Priority: Medium

Explain:

Other Information

Is prior documentation available for this resource? No

Type ☐ HABS ☐ Survey ☐ Other

Documentation Details:



INDEX OF DRAWINGS

COVER	COVER SHEET	ELECTRICAL
CVR		E1 ELECTRICAL PLAN
CIVIL		STRUCTURAL
C1	SITE PLAN	S1 FOUNDATION PLAN PROVIDED BY ENGINEER S2 MECHANICAL AND PLUMBING
ARCHITECTURAL		
A1	EXISTING LAYOUT / SEATING	
A1.A	PROPOSED SEATING CAPACITY	
A1.B	ADA REQUIREMENTS	
A2	PROPOSED ADDITION	
A3	ROOF PLAN	
A4	PROPOSED INTERIOR AND EXTERIOR ELEVATIONS	

Customer Information	Contractor Information
Young's Pizza	Rich Heritage Construction
Project Information	
Address: 625 W Santa Gertrudis, Kingsville Texas 78363-6833	
Henrietta Hgts, Block 2, Lot 4-6	
Existing Restaurant	
Project Calculations:	
Building 1 ----- Existing Restaurant	
Building 1 ----- Aprox. 2,933.00' sq. ft.	
Building Addition ----- Aprox. 441.50' sq.ft.	



Project Calculations:

Building 1	Existing Restaurant
Building 1	Aprox. 2,933.00' sq. ft.
Building Addition	Aprox. 441.50' sq.ft.

4.30 - SIGNAGE

TAS SECTIONS 4.1.2(7), 4.1.3(10)(a) - WHERE APPLICABLE

- A. Signs which designate permanent rooms and spaces shall comply with the requirements listed below for:

1. Raised and Braille Characters, and Pictograms
2. Finish and Contrast

Exception: Employee name signs are not required to comply.

TAS SECTIONS 4.1.2(7), 4.1.3(10)(b) - WHERE APPLICABLE

- A. Signs which provide direction to, or information about, functional spaces of the building shall comply with the requirements listed below for:

1. Character Proportion
2. Character Height
3. Finish and Contrast

Exception: Building directories, menus, and all other signs which are temporary are not required to comply.

TAS SECTION 4.1.2(7) - WHERE APPLICABLE (REFERENCE DETAIL 4.30.1)

- A. Element and spaces of accessible facilities which shall be identified by the International Symbol of Accessibility are:

1. Parking spaces designated as reserved for persons with disabilities.
2. Accessible passenger loading zones.
3. Accessible entrances when not all are accessible (inaccessible entrances shall have directional signage to indicate route to nearest accessible entrance).
4. Accessible toilet and bathing facilities when not all are accessible.

TAS SECTION 4.30.2 - CHARACTER PROPORTION (REFERENCE DETAIL 4.30.2)

- A. Letters and numbers on signs shall have a width-to-height ratio between 3:5 and 1:1, and a stroke-width-to-height ratio between 1:5 and 1:10.

TAS SECTION 4.30.3 - OVERHEAD SIGNS

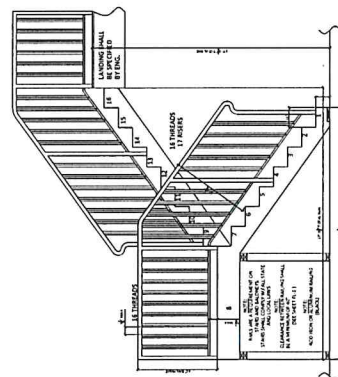
- A. Characters and numbers on overhead signs shall be sized according to the viewing distance from which they are to be read.

1. For signs higher than 60" above the finished floor, character size shall be 3" minimum.
2. The minimum height is measured using an upper case X.
3. Lower case letters are permitted.

TAS SECTION 4.30.4 - RAISED AND BRAILLE CHARACTERS AND PICTOGRAMS

- A. Letter and numerals shall be raised 1/32" upper case, sans serif and shall be accompanied by grade 2 Braille.

1. Raised character height: 5/8" minimum, 2" high maximum
2. Pictograms shall be accompanied by the equivalent verbal description placed directly below the pictogram.
3. The border dimension of the pictogram shall be 5" minimum

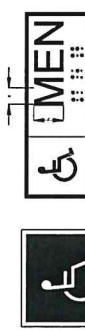


TAS SECTION 4.30.5 - FINISH AND CONTRAST

- A. The character and background of the signs shall be opposite, matte, or other non-gloss finish. Characters and symbols shall contrast with their background (either light characters on a dark background or dark characters on a light background).

TAS SECTION 4.30.6 - MOUNTING LOCATION AND HEIGHT (REFERENCE DETAIL 4.30.3)

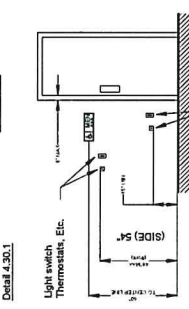
- Where permanent identification is provided for rooms and spaces, signs shall be installed on the wall adjacent to the latch side of the door.
- Where there is no wall space to the latch side of the door, including at double-leaf doors, signs shall be placed on the nearest adjacent wall.
- Mounting height shall be 60" above the finished floor to the centerline of the sign.
- Mounting location for such signage shall be so that a person may approach within 3" of signage without encountering protruding objects or standing within the swing of a door.



Letter & numbers on signs shall have a width to height ratio of between 3:5 & 1:1 and a stroke-width to height ratio between 1:5 & 1:10. Upper case, sans serif or simple serif type and shall be accompanied with Braille. Sign height shall be at least 5/8" high, but no higher than 2".

International Symbol of Accessibility

Detail 4.30.2



Detail 4.30.3

Data, Tel., Etc.

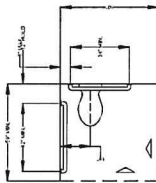
4.16 WATER CLOSETS

TAS SECTION 4.16.2 - CLEAR FLOOR SPACE

- A. Clear floor spaces for water closets not in stalls shall be provided as follows:

1. Front approach - 48" min. wide x 56" min. long
2. Side approach - 56" min. wide x 56" min. long
3. Both approach - 60" min. wide x 56" min. long (Reference Detail 4.16)

- B. No doorways are allowed in clear floor areas.



TAS SECTION 4.16.3 - HEIGHT (REFERENCE DETAIL 4.16.3)

- A. The height to the top of the toilet seat shall be 17" - 19" above floor.

1. Seats shall not be sprung to return to a tilted position.

TAS SECTIONS 4.16.4, 4.26 - GRAB BARS (REFERENCE DETAILS 4.16.1, 4.16.2 & 4.16.3)

- A. For water closets not located in toilet stalls, the following grab bars shall be provided, 33" - 36" above the finish floor:

1. Side wall: 42" long minimum, hold 12" min. from back wall.
2. Back wall: 36" long minimum, 12" minimum each side of water closet centerline.

Refer to 4.26 Grab Bars for size and structural elements.

TAS SECTIONS 4.16.5, 4.27.4 - FLUSH CONTROLS (REFERENCE DETAIL 4.16.3)

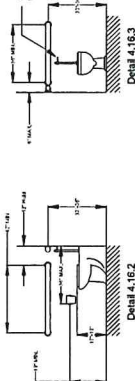
- A. Controls shall be 44" maximum above the finish floor.

1. Lever controls or flush valves shall be mounted on the wide side of toilet areas.
2. Controls shall be hand operated or automatic.
3. Controls shall be located so that they shall not require light grasping, pinching, or twisting of the wrist.
4. The force required to activate controls shall be no greater than 5lb.

TAS SECTION 4.16.6 - DISPENSERS (REFERENCE DETAIL 4.16.2)

- A. Toilet paper dispensers shall be installed on the side wall, a minimum 15" above the floor, and a maximum 36" from the rear wall.

1. Dispensers that control delivery or do not permit continuous paper flow shall not be used.



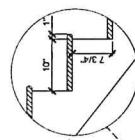
Detail 4.16.2

Detail 4.16.3

4.17 TOILET STALLS

TAS SECTION 4.22.4 - WHERE APPLICABLE

- If toilet stalls are provided in a toilet room or bathroom, then at least one stall shall be provided for persons with disabilities (see 4.17.2) complying with this section. (REFERENCE DETAIL 4.17.1)
- If 6 or more toilet stalls are provided in a toilet room or bathroom, then at least one stall shall be provided for persons with disabilities (see 4.17.2) complying with this section. (REFERENCE DETAIL 4.17.2)
- Attention/Existing Conditions: In alteration work, where provision of a 'standard' accessible stall is technically infeasible, or where plumbing code requirements prevent combining existing stalls to provide space, other 'alternative' stall (A or B) complying with this section may be provided in lieu of the standard stall. (Note: requires a variance from T.D.R.)



STAIRCASE DETAIL Scale: 1/4"=1'-0"

4.26 - GRAB BARS

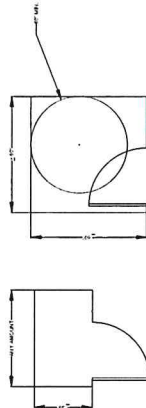
TAS SECTION 4.26.2 - SIZE AND SPACING

- A. Diameter or width of gripping surface shall be 1-1/4" to 1-1/2", or the shape shall provide an equivalent gripping surface.

1. The space between grab bars and adjacent walls shall be 1-1/2"

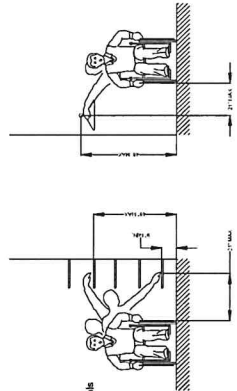
TAS SECTION 4.26.3 - STRUCTURAL STRENGTH

- Grab bars and mounting devices shall meet the following requirements:
 1. Bending stress induced by maximum bending moment from application of 250 lb shall be less than allowable stress for material used.
 2. Shear stress induced by application of 250 lb shall be less than allowable shear stress for material used. If the grab bar and mounting bracket is considered to be fully restrained, then direct and torsional shear stresses shall be totaled for the combined shear stress, which shall not exceed the allowable shear stress.
 3. Shear force induced in a fastener or mounting device from application of 250 lb shall be less than allowable lateral load of fastener or mounting device for the supporting structure, whichever is the smaller allowable load.
 4. Tensile force induced in a fastener by a direct tension force of 250 lb shall be less than the allowable withdrawal load between the fastener and the supporting structure.
 5. Grab bars shall not rotate within their fittings.
- TAS SECTION 4.26.4 - ELIMINATING HAZARDS
- Grab bars and adjacent wall surfaces shall be free of sharp or abrasive surfaces.
 - Edges shall have a radius of 1/8" minimum.



Detail 4.26.2

Detail 4.26.1



Detail 4.26.3

Detail 4.26.4

Date: 01/19/2023
Project No.: LS69/20

Date: 01/19/2023

Project Name: 625 W SANITA GERTRUDIS HENRIETTA HGS.
BLOCK 2, LOTS 4-6

Project Name: 625 W SANITA GERTRUDIS HENRIETTA HGS.
BLOCK 2, LOTS 4-6

Contractor: KINS W SANITA GERTRUDIS HENRIETTA HGS.
(956) 821-8902

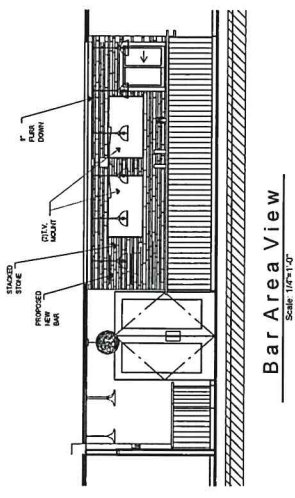
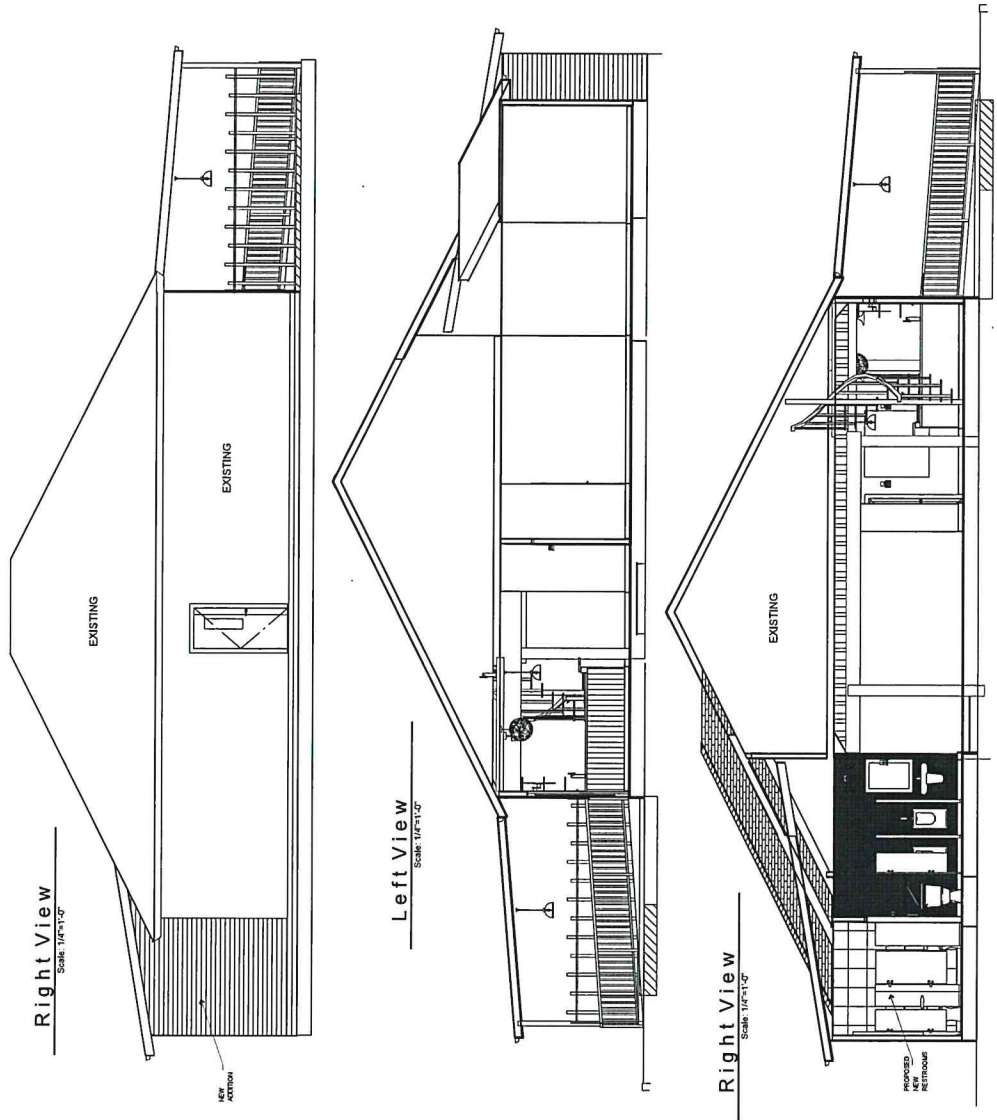
Contractor: KINS W SANITA GERTRUDIS HENRIETTA HGS.
(956) 821-8902

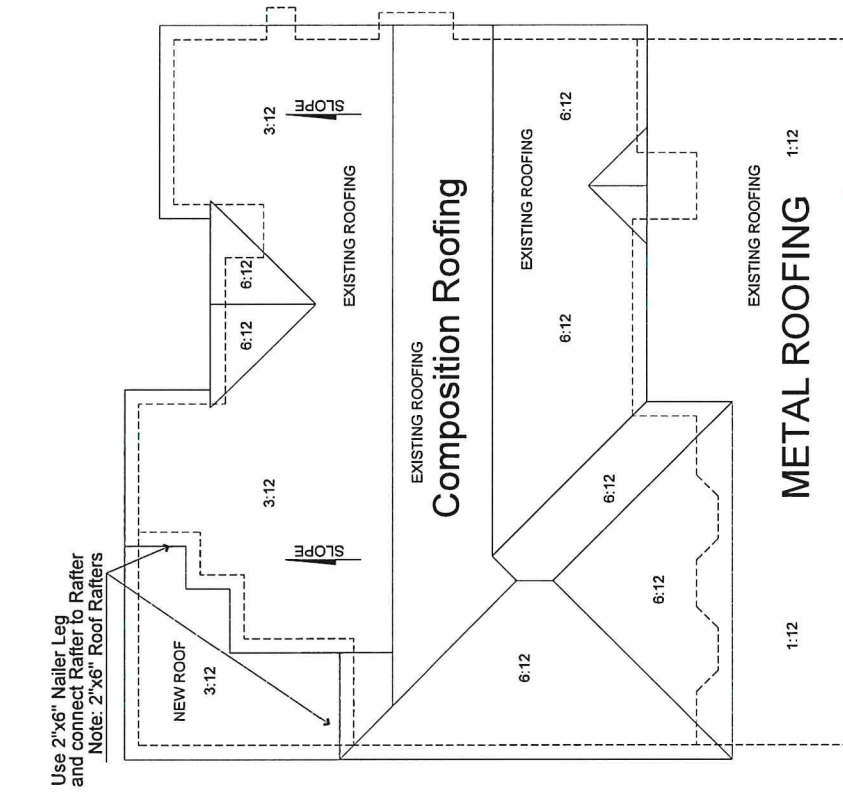
Contractor: KINS W SANITA GERTRUDIS HENRIETTA HGS.
(956) 821-8902

This plan cannot be copied or used for resale or construction unless it has an original signature and an authorization from Emmano Amaro, Engineering for the foundation is the responsibility of owner or contractor. Emmano Amaro takes no responsibility for the construction of the residence or building.

Sheet Number:

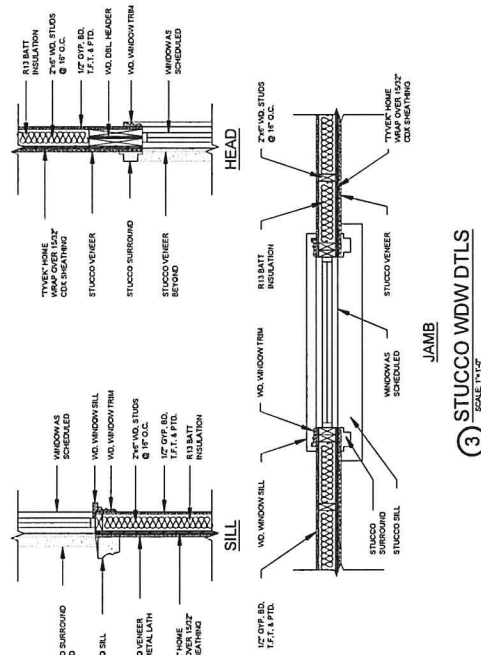
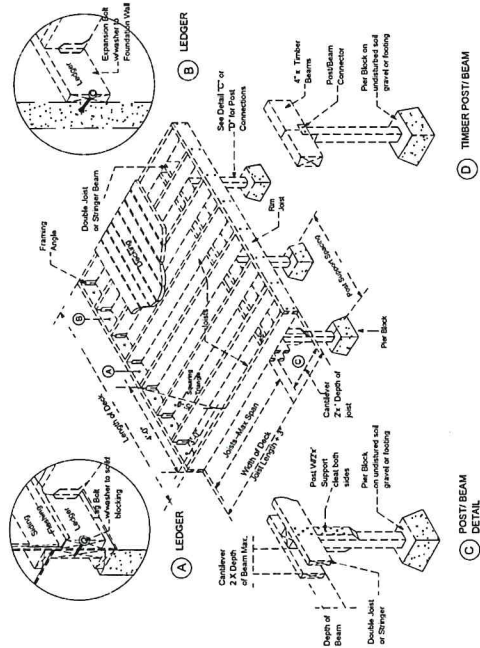
A1.B
AIA REQUIREMENTS





Roof Framing Plan Scale: 3/16"=1'-0"

Note: Contractor should use 2 Underlayment (Black Paper) Before start shingle Roofing.



Sheet
Number:

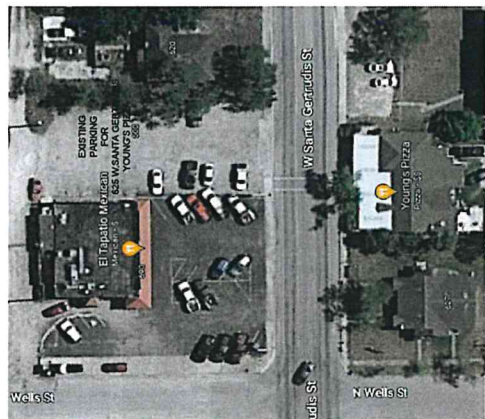
This plan cannot be copied or used for resale or construction unless it has an original signature and an authorization from Emiliano Amaro. Engineering for the foundation is the responsibility of owner or Contractor. Emiliano Amaro takes no responsibility for the construction of the residence or building.



Butken Group
CONTRACTOR
(956) 821-8902
info@butken.com

Project Name: 625 W SANTA GERTRUDIS
KINGSVILLE, TEXAS 78363-6833
HENRIETTA HGTS,
BLOCK 2, LOTS 4-6

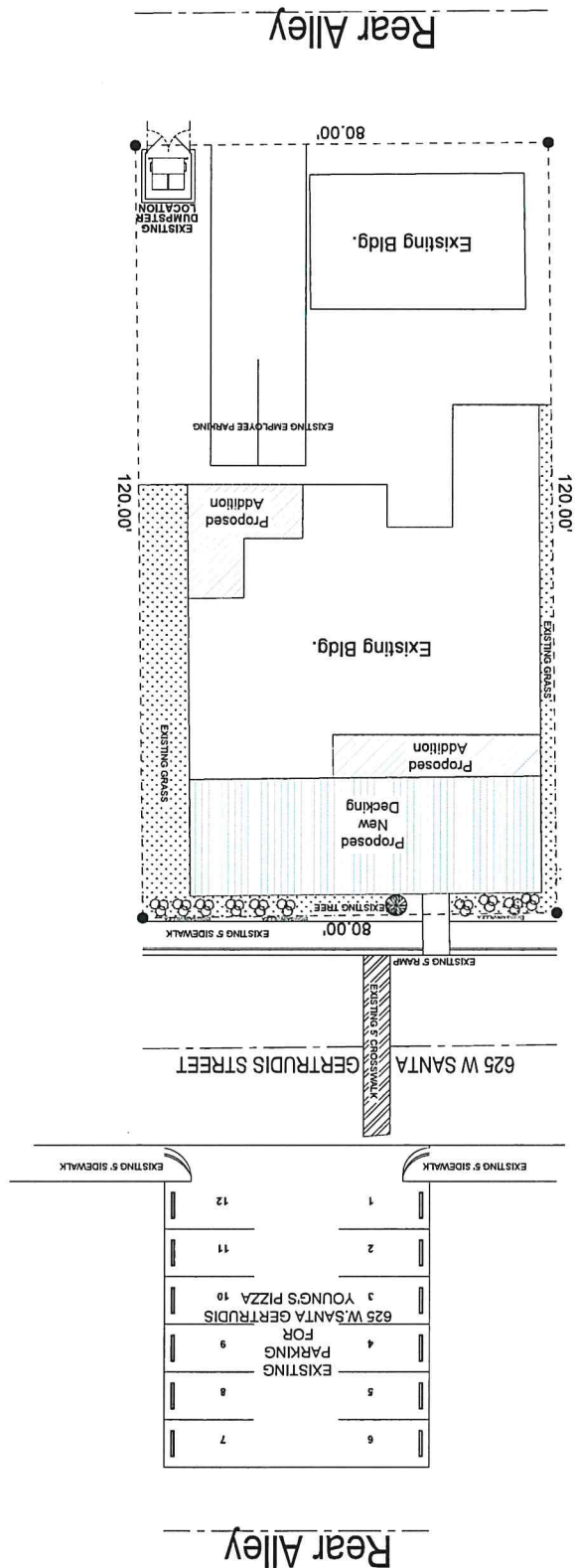
Date: 01/19/2023
Project No: LS/69/F20



② EXISTING PARKING VIEW
SCALE: NTS



① VICINTY LOCATION
SCALE: NTS

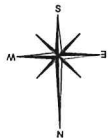


① SITE PLAN
SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"

LEGAL DESCRIPTION

46	2	46	2
LOT	SECTION	LOT	SECTION
HENRIETTA HTS.		HENRIETTA HTS.	
CITY	KINGSVILLE, TEXAS	CITY	KINGSVILLE, TEXAS
CONC. DRIVE	(52. FT.)	CONC. DRIVE	(52. FT.)
PARKING	EXISTING	PARKING	EXISTING
NORTH ARROW		NORTH ARROW	





NOTES UNLESS NOTED OTHERWISE (U.N.O.)

1. ALL EXTERIOR LIGHTING SHALL BE CONTROLLED BY PHOTOCELL DEVICE AND 4 HOUR TIME CLOCK.

2. PROVIDE ALL EMERGENCY LIGHTS WITH BATTERY BACK-UP.

3. PROVIDE SWITCH FOR EXTERIOR SOFFIT OUTLET.

Kleberg CAD

Property Search > 13303 AGZ LLC for
Year 2023

Tax Year: 2023 - Values not available

Property

Account

Property ID:	13303	Legal Description:	HENRIETTA HGTS, BLOCK 2, LOT 4-6, (YOUNG'S PIZZA)
Geographic ID:	135000204000192	Zoning:	R3
Type:	Real	Agent Code:	
Property Use Code:			
Property Use Description:			

Location

Address:	625 W SANTA GERTRUDIS TX	Mapsco:	
Neighborhood:		Map ID:	A2
Neighborhood CD:			

Owner

Name:	AGZ LLC	Owner ID:	67018
Mailing Address:	630 W SANTA GERTRUDIS KINGSVILLE, TX 78363	% Ownership:	100.000000000000%
		Exemptions:	

Values

(+) Improvement Homesite Value:	+	N/A	
(+) Improvement Non-Homesite Value:	+	N/A	
(+) Land Homesite Value:	+	N/A	
(+) Land Non-Homesite Value:	+	N/A	Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	N/A	N/A
(+) Timber Market Valuation:	+	N/A	N/A

(=) Market Value:	=	N/A	
(-) Ag or Timber Use Value Reduction:	-	N/A	

(=) Appraised Value:	=	N/A	

(-) HS Cap: — N/A

(=) Assessed Value: = N/A

Taxing Jurisdiction

Improvement / Building

Improvement #1: COMMERCIAL **State Code:** F1 **Living Area:** 1992.0 sqft **Value:** N/A

Type	Description	Class CD	Exterior Wall	Year Built	SQFT
MA	MAIN AREA	RE3L	EW1	1943	1992.0
SG1	STORAGE FINISHED (40%) *			1943	80.0
CN1	CANOPY BASIC (20%) *			1943	1176.0

Land

#	Type	Description	Acres	Sqft	Eff Front	Eff Depth	Market Value	Prod. Value
1	F1	F1	0.2410	10500.00	75.00	140.00	N/A	N/A

Roll Value History

Year	Improvements	Land Market	Ag Valuation	Appraised	HS Cap	Assessed
2023	N/A	N/A	N/A	N/A	N/A	N/A
2022	\$86,240	\$11,250	0	97,490	\$0	\$97,490
2021	\$86,240	\$11,250	0	97,490	\$0	\$97,490
2020	\$52,250	\$11,250	0	63,500	\$0	\$63,500
2019	\$38,570	\$11,250	0	49,820	\$0	\$49,820
2018	\$40,190	\$11,250	0	51,440	\$0	\$51,440
2017	\$40,190	\$11,250	0	51,440	\$0	\$51,440
2016	\$27,990	\$11,250	0	39,240	\$0	\$39,240
2015	\$27,990	\$11,250	0	39,240	\$0	\$39,240
2014	\$27,990	\$11,250	0	39,240	\$0	\$39,240
2013	\$55,140	\$11,250	0	66,390	\$0	\$66,390
2012	\$55,140	\$11,250	0	66,390	\$0	\$66,390
2011	\$55,140	\$11,250	0	66,390	\$0	\$66,390
2010	\$55,140	\$11,250	0	66,390	\$0	\$66,390
2009	\$55,140	\$11,250	0	66,390	\$0	\$66,390

Questions Please Call (361) 595-5775

ITEM

#3

CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: February 8, 2022
TO: Historic Development Board
FROM: Kobby Agyekum (Senior Planner/HPO)
SUBJECT: Discuss and Consider Action to replace windows, and paint sidings on residential building on 6TH, Block 8, Lots 17 & 18 also known as 630 East Henrietta Avenue, Kingsville, TX 78363
APPLICANT: Johnnie Macs LLC
CONTRACTOR: Johnnie Macs LLC

REQUEST

Discuss and Consider Action to replace windows, and paint sidings on residential building on 6TH, Block 8, Lots 17 & 18 also known as 630 East Henrietta Avenue, Kingsville, TX 78363

EXHIBITS

Application, 2013 Appraisal Roll, Kleberg County Appraisal District Information details, Data from Texas Historical Commission (Historic Resources Survey Form), Engineer's letter, Authorization letter, Drawings, and illustrations.

BACKGROUND & PERTINENT DATA

This is a 1940 one-story rectangular-plan front-gabled residential building with front-gabled partial-width offset porch supported by square wood posts, narrow wood siding, wood-framed sash windows, exposed rafter tails, wood eave brackets, and altered front entrance, located within the Historic District. This property is considered contributing to the historic district with low priority for preservation.

STAFF REVIEW & RECOMMENDATION

Staff has reviewed the application and found same to be in conformity with aesthetic and overall curb appeal that it is in conformity to the Standards of the Secretary of the Interior. Consequently, the staff recommend the approval of replacement of windows, and paint the sidings of residential building at 630 East Henrietta Avenue as there would be no adverse impact to the historic, cultural, or architectural nature of the district.

BOARD REVIEW

Scope of Historical Development Board

In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

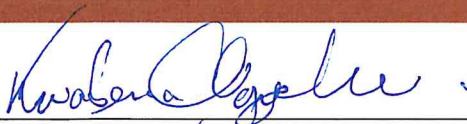
- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.

- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.
- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.
- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Kobby Agyekum
Senior Planner/HPO

Historical Development Board Review Application

Applicant: Johnnie Macs LLC
Address: 330 Serene Meadow NB Tx, 78130
Contact: Cell: 830 730 3266 Home: New Braunfels
Email: johnniemacs4@gmail.com

Property Owner: Always Away LLC
Address: PO Box 828 Seguin Tx 78156
Contact: Cell: 830 303 0987 Home: _____
Property Location and Description: 630 E Henrietta

Description of Work: Replace Existing Windows With
New E Rated Double Pane Windows. Pic Attached
Repaint House To Its Current Original Color
Contractor: Johnnie Macs LLC White w/ Blk Trim
Contact: Cell: 830 ~~803009~~ Home: _____
Email: 730 3266 Johnniemacs4@gmail.com

Documents Required:

1. Sketch, Drawing, Plans, Site Plans, Mock-ups
2. Photographs (Historic, Current, Surrounding Structures)
3. Materials List or Samples
4. Proof of Ownership
5. Letter of Representation and Work Approval from Property Owner (If Applicable)

pic
color chip

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: Edmund Johnnie Schmidt
Signature: [Signature] Date: 2-1-23

TEXAS HISTORICAL COMMISSION

825

Project #: 00009
County: Kleburg

Historic Resources Survey Form

Local Id: 0001-13664
City: Kingsville

Address No: 630 **Street Name:** East Henrietta Avenue

SECTION 1

Basic Inventory Information

Current Name:

Historic Name:

Owner Information

Name: Flores Francisco

Status:

Address: 4023 North County Road 10 **City:** Kingsville

State: TX

Zip: 78363

Geographic Location

Latitude: 27.518969

Longitude: -97.860592

Legal Description (Lot\Block): 6TH, BLOCK 8, LOT 17, 18

Addition/Subdivision:

Year:

Property Type

Building

Current Designations:

☐

NR District

Is property contributing?

☐
☐

NHL

☐

NR

☐

RTHL

☐

OTHM

☐

HTC

☐

SAL

☐

Local

☐

Other

Architect:

Builder

Construction Date: 1940

Source Tax Appraiser

Function

Current: DOMESTIC-Single Dwelling

Historic: DOMESTIC-Single Dwelling

Recorded By: Stefan & Daniella

Date Recorded:

5/9/2013



TEXAS HISTORICAL COMMISSION

825

Project #: 00009

Historic Resources Survey Form

Local Id: 0001-13664

County: Kleburg

City: Kingsville

Address No: 630

Street Name: East Henrietta Avenue

SECTION 2

Architectural Description

One-story rectangular-plan front-gabled residential building with front-gabled partial-width offset porch supported by square wood posts, narrow wood siding, wood-framed sash windows, exposed rafter tails, wood eave brackets, and altered front entrance.

☒ Additions, modifications **Explain:** modified entry

☐ Relocated **Explain:**

Stylistic Influence

No Style

Structural Details

Roof Form

Front-Gabled

Roof Materials

Composition Shingles

Wall Materials

WOOD-Siding

Windows

Wood sash

Doors (Primary Entrance

Composition Shingles

Plan

Rectangular

Chimneys

Porches/Canopies

FORM Gable Roof

SUPPORT Box columns

MATERIAL Wood

ANCILLARY BUILDINGS:

Garage:

Barn:

Shed:

Other:

Landscape Features

TEXAS HISTORICAL COMMISSION

825

Project #: 00009

Historic Resources Survey Form

Local Id: 0001-13664

County: Kleburg

City: Kingsville

Address No: 630

Street Name: East Henrietta Avenue

SECTION 3 Historical Information

Associated Historical Context

Planning/Development

Applicable National Register (NR) Criteria:

- ☒ **A** Associated with events that have made a significant contribution to the broad pattern of our history
- ☐ **B** Associated with the lives of persons significant in our past
- ☐ **C** Embodies the distinctive characteristics of a type, period or method of construction or represents the work of a master, or possesses high artistic value, or represents a significant and distinguishable entity whose components lack individual distinctions
- ☐ **D** Has yielded, or is likely to yield, information important in prehistory of history

Areas of Significance:

Community Development

Periods of Significance:

1913-1946

Levels of Significance: ☐ National ☐ State ☒ Local

Integrity: ☒ Location ☐ Design ☒ Materials ☒ Workmanship ☒ Setting ☐ Feeling ☒ Association

Integrity Notes:

Individually Eligible? No

Within Potential NR District?: Yes

Is Property Contributing?: ☒

Priority: Medium

Explain:

Other Information

Is prior documentation available for this resource? No

Type ☐ HABS ☐ Survey ☐ Other

Documentation Details:

Kleberg CAD

Property Search > 13664 ALWAYS A WAY LLC for Tax Year: 2023 - Values not available
Year 2023

Property

Account

Property ID:	13664	Legal Description:	6TH, BLOCK 8, LOT 17, 18
Geographic ID:	100800817000192	Zoning:	
Type:	Real	Agent Code:	
Property Use Code:			
Property Use Description:			

Location

Address:	630 E HENRIETTA	Mapsco:	
Neighborhood:		Map ID:	C1
Neighborhood CD:			

Owner

Name:	ALWAYS A WAY LLC	Owner ID:	66965
Mailing Address:	PO BOX 828 SEGUIN, TX 78156	% Ownership:	100.0000000000%
		Exemptions:	

Values

(+) Improvement Homesite Value:	+	N/A	
(+) Improvement Non-Homesite Value:	+	N/A	
(+) Land Homesite Value:	+	N/A	
(+) Land Non-Homesite Value:	+	N/A	Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	N/A	N/A
(+) Timber Market Valuation:	+	N/A	N/A

(=) Market Value:	=	N/A	
(-) Ag or Timber Use Value Reduction:	-	N/A	

(=) Appraised Value:	=	N/A	
(-) HS Cap:	-	N/A	

(=) Assessed Value:	=	N/A	

Taxing Jurisdiction

Owner: ALWAYS A WAY LLC

% Ownership: 100.000000000000%

Total Value: N/A

Entity	Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax
GKL	KLEBERG COUNTY	N/A	N/A	N/A	N/A
	Total Tax Rate:	N/A			
				Taxes w/Current Exemptions:	N/A
				Taxes w/o Exemptions:	N/A

Improvement / Building

Improvement #1: RESIDENTIAL State Code: A1 Living Area: 580.0 sqft Value: N/A

Type	Description	Class CD	Exterior Wall	Year Built	SQFT
MA	MAIN AREA	FF3	EW1	1940	580.0
OPFA	OPEN PORCH FRAME AVERAGE	*		1940	50.0
SAFF	STORAGE ATTACHED FRAME FINISHED	*		1940	120.0

Improvement #2: RESIDENTIAL State Code: A1 Living Area: 608.0 sqft Value: N/A

Type	Description	Class CD	Exterior Wall	Year Built	SQFT
MA	MAIN AREA	FF2	EW1	1940	468.0
MADF	MAIN ADDITION FRAME	*		1940	140.0
OPFL	OPEN PORCH FRAME LOW	*		1940	24.0
PCFL	PATIO COVERED FRAME LOW	*		1940	40.0

Land

#	Type	Description	Acres	Sqft	Eff Front	Eff Depth	Market Value	Prod. Value
1	A1	A1	0.1607	7000.00	50.00	140.00	N/A	N/A

Roll Value History

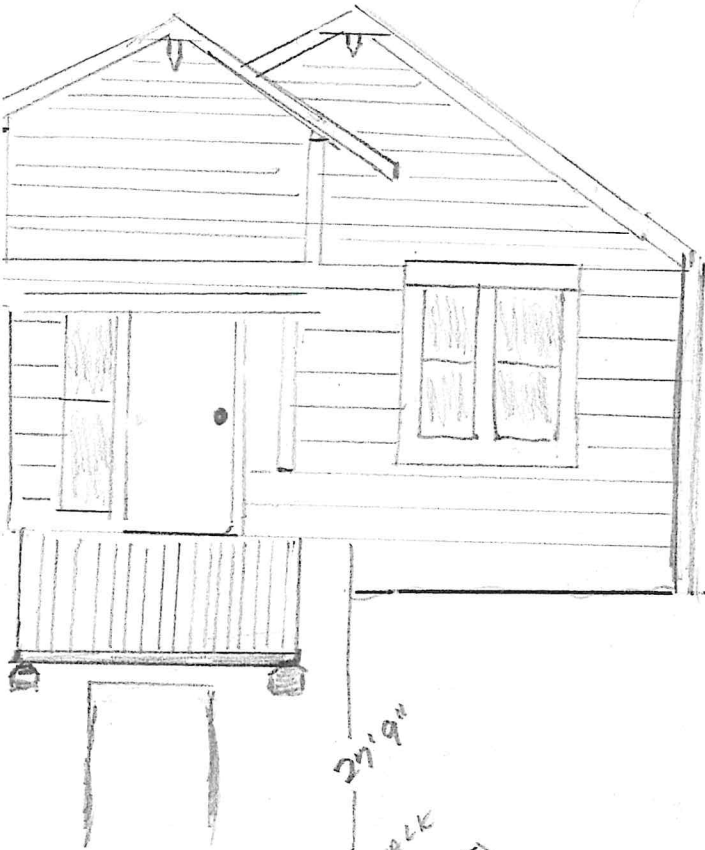
Year	Improvements	Land Market	Ag Valuation	Appraised	HS Cap	Assessed
2023	N/A	N/A	N/A	N/A	N/A	N/A
2022	\$35,200	\$4,000	0	39,200	\$0	\$39,200
2021	\$27,620	\$4,000	0	31,620	\$0	\$31,620
2020	\$26,210	\$4,000	0	30,210	\$0	\$30,210
2019	\$26,210	\$4,000	0	30,210	\$0	\$30,210
2018	\$19,680	\$4,000	0	23,680	\$0	\$23,680
2017	\$19,680	\$4,000	0	23,680	\$0	\$23,680
2016	\$21,170	\$4,000	0	25,170	\$0	\$25,170
2015	\$21,170	\$4,000	0	25,170	\$0	\$25,170
2014	\$21,170	\$4,000	0	25,170	\$0	\$25,170

2013	\$21,170	\$4,000	0	25,170	\$0	\$25,170
2012	\$21,170	\$4,000	0	25,170	\$0	\$25,170
2011	\$21,170	\$4,000	0	25,170	\$0	\$25,170
2010	\$21,170	\$4,000	0	25,170	\$0	\$25,170
2009	\$21,170	\$4,000	0	25,170	\$0	\$25,170

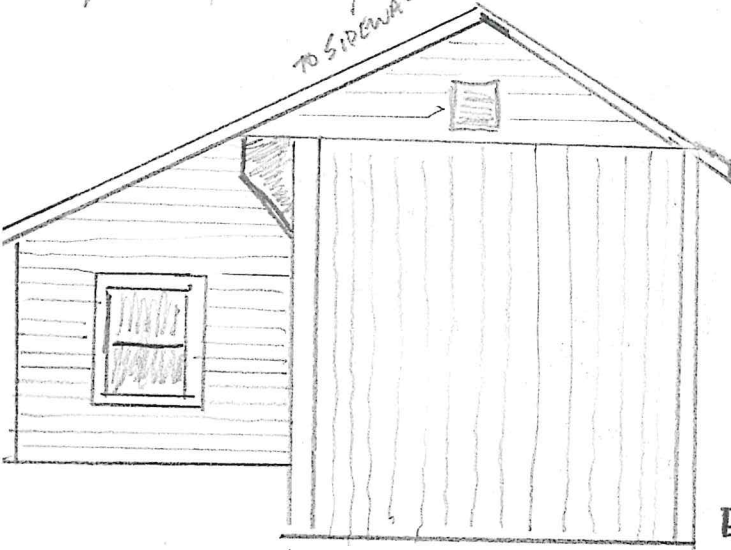
Questions Please Call (361) 595-5775

This year is not certified and ALL values will be represented with "N/A".

630 E HENRIETTA



TO
SIDEWALK
14'4"



TO
PROPERTY
LINE

17'8"



TO PROPERTY LINE

18'4"

630 E HENRIETTA 20' 4"

9' 7"

32" door

Bedroom

10' 2"

Living Room

10' 2"

115' 96

32" door

CLOSET
CLOSET

Hallway

32" door

Bedroom

11' 5"

9' 6"

10' 6"

KITCHEN

32" door

Back door 36"

12' 8"

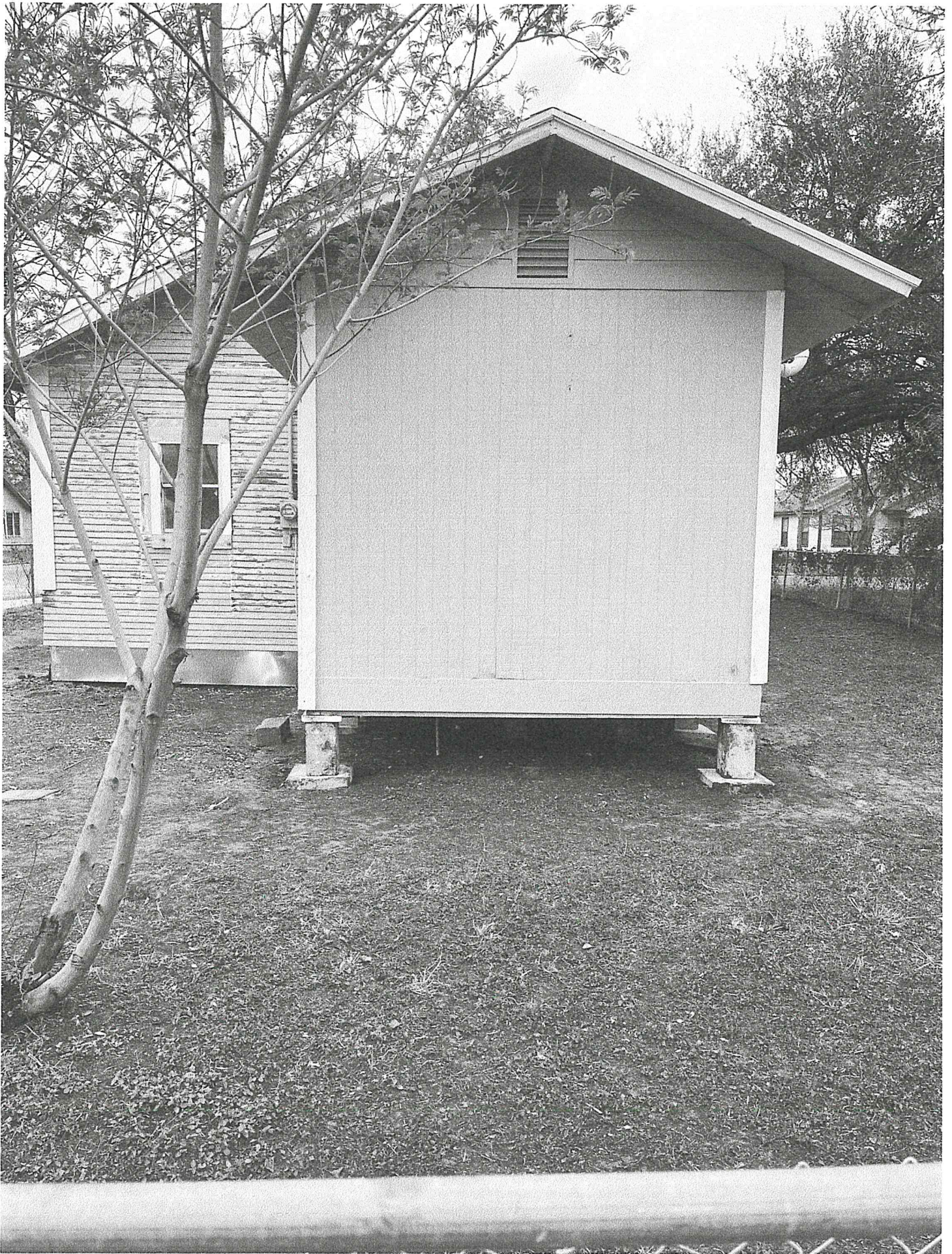
Vanity

Shower

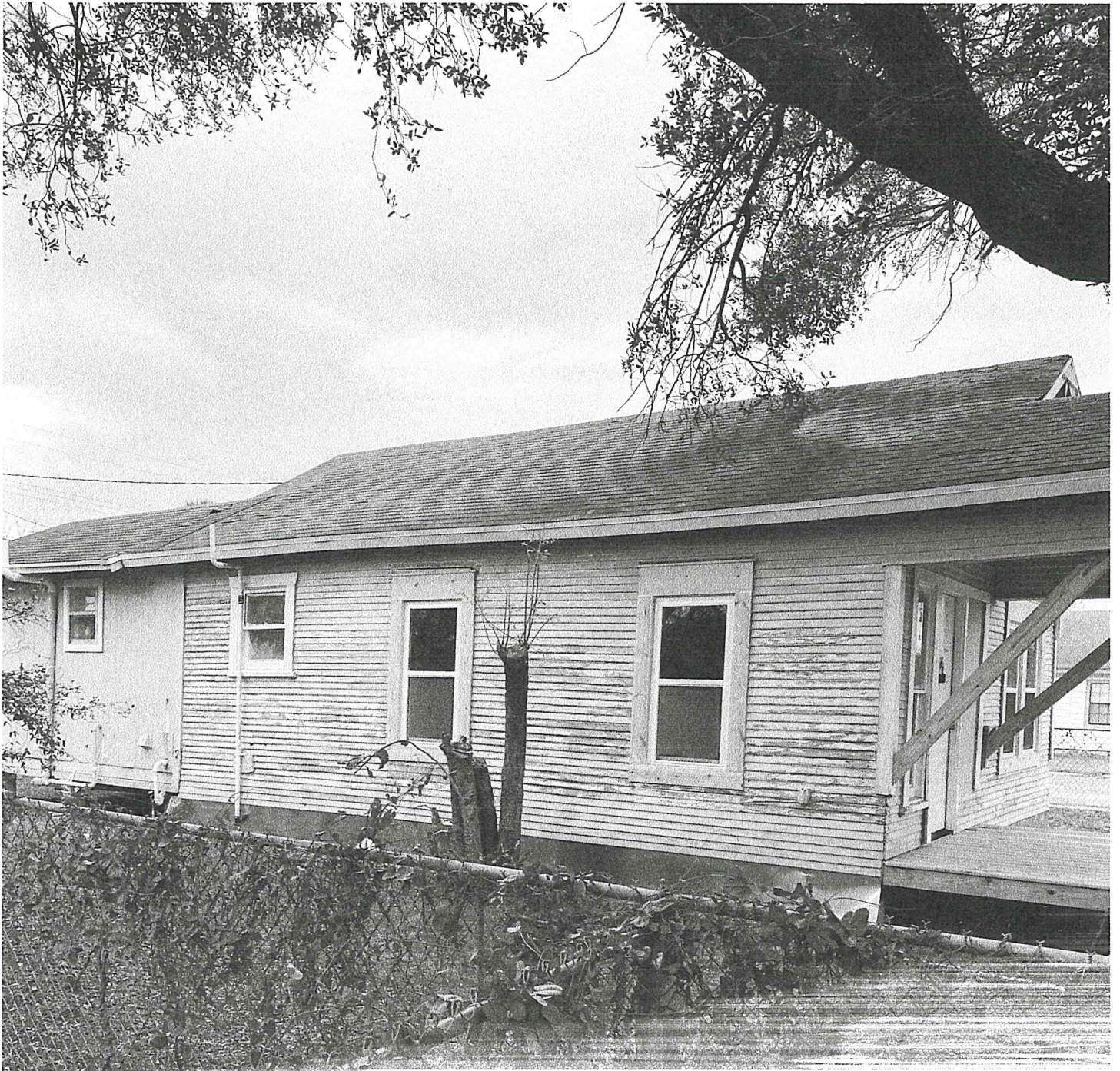
9' 9"

9' 9"

NORTH



WEST



East



SOUTH





ONLY AT LOWES

RELIABILT

3100 Series 35.5-in x 53.75-in x 2.625-in
Jamb Vinyl Replacement White Single
Hung Window Half Screen Included

\$183.45

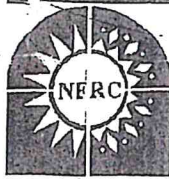
Item #: 632916 Model #: 7198012265183100SH

★★★★★ 26

How to Get It

1 +

Add to Cart



National Fenestration
Rating Council®

CERTIFIED

No Grid Dual Glazed

WIN-1319

RELIABLE
SERIES: 3100
VINYL Single Hung

Low-e

ADW-M-379-00871-00001

ENERGY PERFORMANCE RATINGS

U-Factor	Solar Heat Gain Coefficient
0.36 (U.S./I-P)	0.29
2.0 (Metric/SI)	

ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance	Air Leakage
0.54	≤ 0.3

Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole window performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific window size. NFRC does not recommend any product and does not warrant the suitability of any product for a specific use. Consult manufacturer's literature for other product performance information.
www.nfrc.org

This window has been tested in accordance with either ANSI/AAMA/NWDA 101/I.S.2-97, I/S.2/NAFS-02 or AAMA/WDMA/CSA 101/I.S.2/A440-05 and has a Design Pressure

1/-DP50

Pressure of 50 applies to windows up to 36"X74" in size

L Prd Approval: FL11834
DI: WIN-1319

Glazing complies with ASTM E 1300

Super Lite Glazing

Single-Strength Annealed

Airspace

Single-Strength Annealed

Lock Lite Glazing

Single-Strength Annealed

Airspace

Single-Strength Annealed

Sequence: 00037

Dopt: 016

Model: N54

S.O.

Prod Date: 11/28/2022

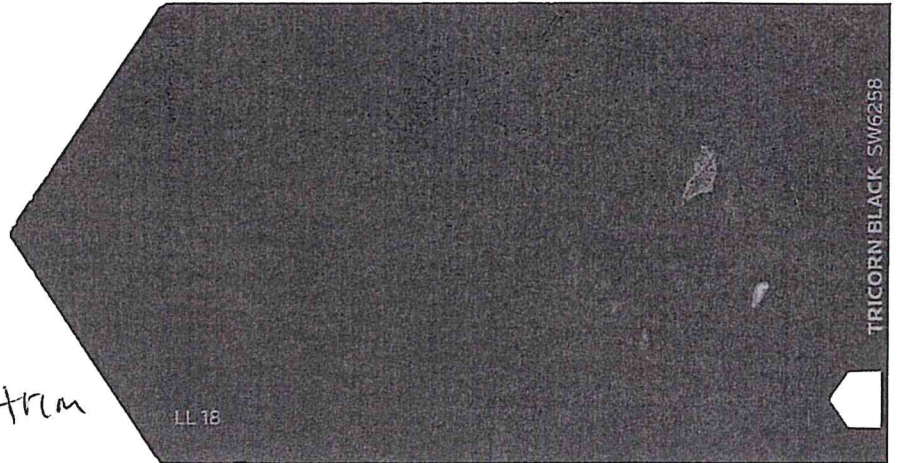
Lead: P0085

099792070100030005

House
Color

white

trim



ITEM

#4

CITY of KINGSVILLE DOWNTOWN



HISTORIC DEVELOPMENT BOARD

DATE: February 8, 2022
TO: Historic Development Board
FROM: Kobby Agyekum (Senior Planner/HPO)
SUBJECT: Discuss and Consider Action to replace windows, and paint sidings on residential building on 6TH, Block 8, Lots 17 & 18 also known as 309 North 6th Street, Kingsville, TX 78363
APPLICANT: Johnnie Macs LLC
CONTRACTOR: Johnnie Schmidt, Mr.

REQUEST

Discuss and Consider Action to replace windows, and paint sidings on residential building on 6TH, Block 8, Lots 17 & 18 also known as 309 North 6th Street, Kingsville, TX 78363

EXHIBITS

Application, 2013 Appraisal Roll, Kleberg County Appraisal District Information details, Data from Texas Historical Commission (Historic Resources Survey Form), Engineer's letter, Authorization letter, Drawings, and illustrations.

BACKGROUND & PERTINENT DATA

This is a 1940 one-story rectangular-plan front-gabled residential building with front-gabled partial-width offset porch supported by square wood posts, narrow wood siding, wood-framed sash windows, exposed rafter tails, wood eave brackets, and altered front entrance, located within the Historic District. This property is considered contributing to the historic district with low priority for preservation.

STAFF REVIEW & RECOMMENDATION

Staff has reviewed the application and found same to be in conformity with aesthetic and overall curb appeal that it is in conformity to the Standards of the Secretary of the Interior. Consequently, the staff recommend the approval of replacement of windows, and paint the sidings of residential building 309 North 6th Street as there would be no adverse impact to the historic, cultural, or architectural nature of the district.

BOARD REVIEW

Scope of Historical Development Board

In general, Historical Development Board considers the following factors when making a recommendation concerning the issuing of a permit for the construction, reconstruction, alteration, restoration, relocation, demolition or razing of all or part of any building, structure or appurtenance within a historic district:

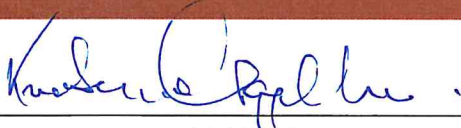
- 1) The effect of the proposed change upon the general historic, cultural and architectural nature of the district.

- 2) The appropriateness of exterior architectural features which can be seen from a public street, alley, road, highway or walkway.
- 3) The general design, arrangement, texture, material and color of the building, structure or appurtenances and the relation of such factors to similar features of buildings, structures or appurtenances in the district. The criterion shall not be the aesthetic appeal to the Board of the structure or the proposed remodeling, but rather its' conformity to the general character of the particular historic area involved.
- 4) Signs which are out of keeping with the character of the historic district in question shall not be permitted.
- 5) The value of the historic district as an area of unique interest and character shall not be impaired.

Standards of the Secretary of the Interior

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

SIGNATURES



Kobby Agyekum
Senior Planner/HPO

Historical Development Board Review Application

Applicant: Johnnie Macs LLC
Address: 330 Serene Meadow N.B. Tx 78130
Contact: Cell: 830 730 3266 Home: new travels
Email: johnniemacs4@gmail.com

Property Owner: Always Away LLC
Address: P.O. Box 828 Soguin Tx 78155
Contact: Cell: _____ Home: 830 303 0987
Property Location and Description: 309 N. 11th

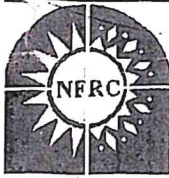
Description of Work: Replace Existing Windows
With E Rated Double Pane Windows.
Repainting House To It's Current Color
Blk + White
Contractor: Johnnie Schmidt
Contact: Cell: 830 730 3266 Home: _____
Email: johnniemacs4@gmail.com

Documents Required:

1. Sketch, Drawing, Plans, Site Plans, Mock-ups
2. Photographs (Historic, Current, Surrounding Structures)
3. Materials List or Samples
4. Proof of Ownership
5. Letter of Representation and Work Approval from Property Owner (If Applicable)

I certify that this information and the additional information submitted to the Planning Department is correct and that the work will be completed as described, as approved by the Historical Development Board and in accordance with applicable codes.

(Applicant) Print Name: Johnnie Schmidt
Signature: [Signature] Date: 2-1-23



National Fenestration
Rating Council®

CERTIFIED

*No Grid" DualGlazed

MFR#073

RELIABILT
SERIES: 3100
VINYL Single Hung

Low-e

ADW-M-379-00871-00001

ENERGY PERFORMANCE RATINGS

U-Factor		Solar Heat Gain Coefficient
0.36 (U.S./I-P)	2.0 (Metric/SI)	0.29

ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance	Air Leakage
0.54	≤ 0.3

Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific product size. NFRC does not recommend any product and does not warrant the suitability of any product for a specific use. Consult manufacturer's literature for other product performance information.

www.nfrc.org

A window has been tested in accordance with either ANSI/AAMA/NWDA 101/I.S.2-97, I/I.S.2/NAFS-02 or AAMA/WDMA/CSA 101/I.S.2/A440-05 and has a Design Pressure

+/-DP50

Pressure of 50 applies to windows up to 36"X74" in size

L Prd Approval: FL11834
DI: WIN-1319

Glazing complies with ASTM E 1300

Super Lite Glazing

Single-Strength Annealed

Airspace

Single-Strength Annealed

Lock Lite Glazing

Single-Strength Annealed

Airspace

Single-Strength Annealed

Sequence: 00037

Dept: 016

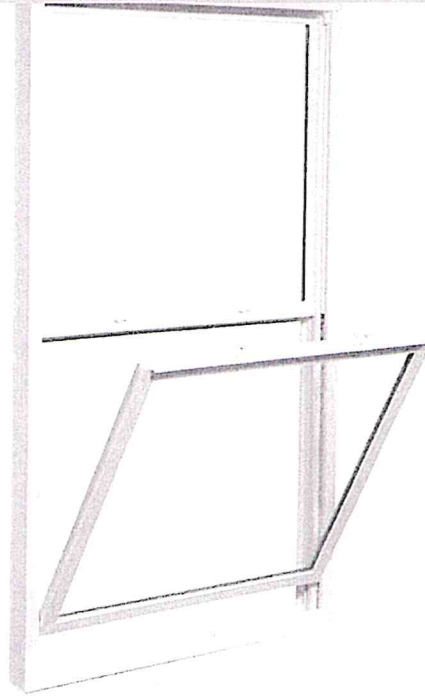
Model: N54

S.O.

Prod Date: 11/28/2022

Lead: P0085

099792070100030005



ONLY AT LOWES

RELIABILT

3100 Series 35.5-in x 53.75-in x 2.625-in
Jamb Vinyl Replacement White Single
Hung Window Half Screen Included

\$183.45

Item #: 632916 Model #: 7198012265183100SH

★★★★☆ 26

How to Get It

1 +

Add to Cart









House
Color

white

ENCLOSURE

Trim

